

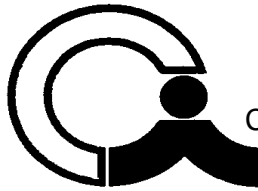
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# PLANNING COMMISSION

## CITY OF INDUSTRY

REGULAR MEETING AGENDA  
MARCH 12, 2015 8:00 A.M.



CHAIRMAN MANUEL PEREZ  
VICE CHAIRMAN MARK RADECKI  
COMMISSIONER FRANK CONTRERAS  
COMMISSIONER BERT SPIVEY  
COMMISSIONER ANDRIA WELCH

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*Location: City Council Chamber, 15651 East Stafford Street, City of Industry, California*

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### **Addressing the Planning Commission:**

- ▶ **Agenda Items:** *Members of the public may address the Planning Commission on any matter listed on the Agenda. In order to conduct a timely meeting, there will be a three-minute time limit per person for any item listed on the Agenda. Anyone wishing to speak to the Planning Commission is asked to complete a Speaker's Card which can be found at the back of the room and at the podium. The completed card should be submitted to the Secretary prior to the Agenda item being called by the Secretary prior to the individual being heard by the Planning Commission.*
- ▶ **Public Comments (Non-Agenda Items):** *Anyone wishing to address the Planning Commission on an item not on the Agenda may do so during the "Public Comments" period. In order to conduct a timely meeting, there will be a three-minute time limit per person for the Public Comments portion of the Agenda. State law prohibits the Planning Commission from taking action on a specific item unless it appears on the posted Agenda. Anyone wishing to speak to the Planning Commission is asked to complete a Speaker's Card which can be found at the back of the room and at the podium. The completed card should be submitted to the Secretary prior to the Agenda item being called by the Secretary and prior to the individual being heard by the Planning Commission.*

### **Americans with Disabilities Act:**

- ▶ *In compliance with the ADA, if you need special assistance to participate in any City meeting (including assisted listening devices), please contact the City Clerk's Office (626) 333-2211. Notification of at least 48 hours prior to the meeting will assist staff in assuring that reasonable arrangements can be made to provide accessibility to the meeting.*

### **Agendas and other writings:**

- ▶ *In compliance with SB 343, staff reports and other public records permissible for disclosure related to open session agenda items are available at City Hall, 15625 East Stafford Street, Suite 100, City of Industry, California, at the office of the City Clerk during regular business hours, Monday through Friday 9:00 a.m. to 5:00 p.m. Any person with a question concerning any agenda item may call the City Clerk's Office at (626) 333-2211.*

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1. Call to Order
  2. Flag Salute
  3. Roll Call
  4. Public Comments
- 
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5. Consideration of the minutes of the December 11, 2014 regular meeting.

*RECOMMENDED ACTION: Approve as submitted, with Chairman Perez abstaining due to his absence from the meeting.*

6. Consideration of the minutes of the December 11, 2014 City Council and Planning Commission Joint Special meeting.

*RECOMMENDED ACTION: Approve as submitted, with Chairman Perez abstaining due to his absence from the meeting.*

7. **PUBLIC HEARINGS**

- 7.1 Public Hearing regarding Conditional Use Permit 14-10 submitted by American Multi-Cinema Inc. to establish alcohol service inside the AMC Theater located at 1560 Azusa Avenue.

Consideration of Resolution No. PC 2015-01 - A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF INDUSTRY, CALIFORNIA, APPROVING CONDITIONAL USE PERMIT NO. 14-10 TO ALLOW THE SERVICE OF ALCOHOLIC BEVERAGES IN THE AMC THEATER IN THE PUENTE HILLS MALL, LOCATED AT 1560 SOUTH AZUSA AVENUE, WITHIN A "C" – COMMERCIAL ZONE, AND MAKING FINDINGS IN SUPPORT THEREOF.

*RECOMMENDED ACTION: Adopt Resolution No. PC 2015-01.*

- 7.2 Public Hearing regarding Zone Exception 15-1 and Development Plan 14-11 submitted by Harvard Card Systems for the location at 111 Baldwin Park Boulevard. Zone Exception 15-1 addresses deviations from square footage, parking, drive-aisle width, and landscaping standards and Development Plan 14-11 addresses the improvement of an existing building.

Consideration of Resolution No. PC 2015-02 - A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF INDUSTRY, CALIFORNIA, RECOMMENDING THE ADOPTION OF DEVELOPMENT PLAN 14-11 TO ALLOW THE ADDITION OF 3,943 SQUARE FEET TO AN EXISTING 112,676 SQUARE FOOT BUILDING, AS WELL AS THE CONSTRUCTION OF A 12,912 SQUARE FOOT ADDITION TO THE BUILDING'S MEZZANINE AREA; AND RECOMMENDING APPROVAL OF ZONE EXCEPTION 15-1 TO ALLOW DEVELOPMENT WITH A GREATER MAXIMUM LOT COVERAGE, REDUCED MINIMUM LANDSCAPING AND MODIFIED PARKING REQUIREMENTS ON PROPERTY LOCATED AT 111 BALDWIN PARK BOULEVARD, WITHIN A "M" – INDUSTRIAL ZONE, AND MAKING FINDINGS IN SUPPORT THEREOF.

*RECOMMENDED ACTION: Adopt Resolution No. PC 2015-02.*

8. Adjournment. Next regular meeting: Thursday, April 9, 2015 at 8:00 a.m.

*PLANNING COMMISSION*

ITEM NO. 5

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PLANNING COMMISSION REGULAR MEETING MINUTES  
CITY OF INDUSTRY, CALIFORNIA  
DECEMBER 11, 2014  
Page 1

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**CALL TO ORDER**

The Regular Meeting of the Planning Commission of the City of Industry, California, was called to order by Vice Chairman Mark Radecki at 8:00 a.m. in the City of Industry Council Chamber, 15651 East Stafford Street, City of Industry, California.

**FLAG SALUTE**

The flag salute was led by Vice Chairman Mark Radecki

**ROLL CALL:**

PRESENT: Mark Radecki, Vice Chariman  
Frank Contreras  
Bert Spivey  
Andria Welch

ABSENT: Manuel Perez, Chairman

MOTION BY COMMISSIONER WELCH, AND SECOND BY COMMISSIONER CONTRERAS TO GRANT CHAIRMAN PEREZ AN EXCUSED ABSENCE. MOTION CARRIED 4-0, WITH CHAIRMAN PEREZ ABSENT.

STAFF PRESENT: Kevin Radecki, City Manager; Michele Vadon, City Attorney; Brian James, Planning Director; and Cecelia Dunlap, Secretary.

**PUBLIC COMMENTS**

There were no public comments.

**CONSIDERATION OF THE MINUTES OF THE SEPTEMBER 11, 2014 AND OCTOBER 9, 2014 REGULAR MEETINGS**

MOTION BY COMMISSIONER CONTRERAS, AND SECOND BY COMMISSIONER SPIVEY TO APPROVE AS SUBMITTED. MOTION CARRIED 4-0, WITH CHAIRMAN PEREZ ABSENT.

**CONSIDERATION OF THE MINUTES OF THE SEPTEMBER 26, 2014 CITY COUNCIL AND PLANNING COMMISSION JOINT STUDY SESSION MEETING**

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PLANNING COMMISSION REGULAR MEETING MINUTES  
CITY OF INDUSTRY, CALIFORNIA  
DECEMBER 11, 2014  
Page 2

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MOTION BY COMMISSIONER WELCH, AND SECOND BY COMMISSIONER CONTRERAS TO APPROVE AS SUBMITTED. MOTION CARRIED 4-0, WITH CHAIRMAN PEREZ ABSENT.

**PUBLIC HEARING REGARDING ZONE AMENDMENT 14-1 TO AMEND THE MUNICIPAL CODE TO INCLUDE EMERGENCY HOMELESS SHELTERS, RESIDENTIAL CARE FACILITIES, AND SUPPORTIVE AND TRANSITIONAL HOUSING**

MOTION BY COMMISSIONER CONTRERAS, AND SECOND BY COMMISSIONER SPIVEY TO OPEN THE PUBLIC HEARING. MOTION CARRIED 4-0, WITH CHAIRMAN PEREZ ABSENT.

Planning Director James presented a staff report to the Planning Commission.

Vice Chairman Radecki inquired if anyone wished to be heard on the matter. There were no comments.

MOTION BY COMMISSIONER SPIVEY, AND SECOND BY COMMISSIONER WELCH TO CLOSE THE PUBLIC HEARING. MOTION CARRIED 4-0, WITH CHAIRMAN PEREZ ABSENT.

**RESOLUTION NO. PC 2014-14 – A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF INDUSTRY, CALIFORNIA, RECOMMENDING THAT THE CITY COUNCIL OF THE CITY OF INDUSTRY ADOPT AN ORDINANCE AMENDING CHAPTERS 17.08 (DEFINITIONS) AND 17.18 (INSTITUTIONAL ZONE) OF TITLE 17 (ZONING) OF THE INDUSTRY MUNICIPAL CODE RELATING TO EMERGENCY HOMELESS SHELTERS, RESIDENTIAL CARE FACILITIES, AND SUPPORTIVE AND TRANSITIONAL HOUSING**

MOTION BY COMMISSIONER CONTRERAS, AND SECOND BY COMMISSIONER TO WELCH APPROVE RESOLUTION NO. PC 2014-14. MOTION CARRIED 4-0, WITH CHAIRMAN PEREZ ABSENT.

**PUBLIC HEARING REGARDING ZONE AMENDMENT 14-3 TO INCORPORATE THE RECREATION AND OPEN SPACE ZONE INTO THE MUNICIPAL CODE AND ZONING MAP**

MOTION BY COMMISSIONER SPIVEY, AND SECOND BY COMMISSIONER CONTRERAS TO OPEN THE PUBLIC HEARING. MOTION CARRIED 4-0, WITH CHAIRMAN PEREZ ABSENT.

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PLANNING COMMISSION REGULAR MEETING MINUTES  
CITY OF INDUSTRY, CALIFORNIA  
DECEMBER 11, 2014  
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Planning Director James presented a staff report to the Planning Commission.

Vice Chairman Radecki inquired if anyone wished to be heard on the matter. There were no comments.

MOTION BY COMMISSIONER SPIVEY, AND SECOND BY COMMISSIONER WELCH TO CLOSE THE PUBLIC HEARING. MOTION CARRIED 4-0, WITH CHAIRMAN PEREZ ABSENT.

**RESOLUTION NO. PC 2014-13 – A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF INDUSTRY, CALIFORNIA, RECOMMENDING THAT THE CITY COUNCIL ADOPT AN ORDINANCE ADDING A NEW CHAPTER 17.26 TO THE INDUSTRY MUNICIPAL CODE PERTAINING TO A RECREATION AND OPEN SPACE ZONE**

MOTION BY COMMISSIONER WELCH, AND SECOND BY COMMISSIONER TO SPIVEY APPROVE RESOLUTION NO. PC 2014-13. MOTION CARRIED 4-0, WITH CHAIRMAN PEREZ ABSENT.

**ADJOURNMENT**

There being no further business, the Planning Commission adjourned.

\_\_\_\_\_  
MARK RADECKI, VICE CHAIRMAN

\_\_\_\_\_  
CECELIA DUNLAP, SECRETARY

*PLANNING COMMISSION*

ITEM NO. 6

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CITY COUNCIL AND PLANNING COMMISSION  
JOINT SPECIAL MEETING MINUTES  
CITY OF INDUSTRY, CALIFORNIA  
DECEMBER 11, 2014  
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**CALL TO ORDER**

The Joint Special Meeting of the City Council and the Planning Commission of the City of Industry, California, was called to order by Mayor Tim Spohn at 10:00 a.m. in the Industry Manufacturers Council Training Center, 15651 East Stafford Street, California.

**FLAG SALUTE**

The flag salute was led by Mayor Tim Spohn.

**ROLL CALL**

PRESENT: Tim Spohn, Mayor  
Jeff Parriott, Mayor Pro Tem  
John P. Ferrero, Council Member  
Pat Marcellin, Council Member  
Mark Radecki, Vice Chairman  
Frank Contreras, Commissioner  
Bert Spivey, Commissioner  
Andria Welch, Commissioner

ABSENT: Roy Haber, Council Member  
Manuel Perez, Chairman

STAFF PRESENT: Kevin Radecki, City Manager; Michele Vadon, City Attorney; Jodi L. Scrivens, City Clerk; John Ballas, City Engineer; Cecelia Dunlap, Deputy City Clerk; Brian James, Planning Director; and Troy Helling, Senior Planner.

MOTION BY COUNCIL MEMBER FERRERO, AND SECOND BY MAYOR SPOHN TO GRANT COUNCIL MEMBER HABER AND PLANNING COMMISSION CHAIRMAN PEREZ AN EXCUSED ABSENCE. MOTION CARRIED 8-0, WITH COUNCIL MEMBER HABER AND PLANNING COMMISSION CHAIRMAN PEREZ ABSENT.

**PUBLIC COMMENTS**

There were no public comments.

**STUDY SESSION - REVIEW LANDSCAPE DESIGN OPTIONS FOR THE CIVIC CENTER AREA**



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CITY COUNCIL AND PLANNING COMMISSION  
JOINT SPECIAL MEETING MINUTES  
CITY OF INDUSTRY, CALIFORNIA  
DECEMBER 11, 2014  
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Planning Director James provided a brief Staff report, noting that the Joint Special Meeting was held to review design concepts and that no action would be taken. Planning Director James introduced Mr. Brett French, President, and Ms. Brittany Richter, Project Manager, both with Environs Landscape Architecture, Inc.

Mr. French and Ms. Richter gave a presentation to the City Council and Planning Commissioners, and distributed a hand-out, a copy of which is on file with the City Clerk.

After discussion, Planning Director James summarized the next phase of the design concepts would be to develop detailed landscape and irrigation plans, determine cost estimates, review funding, go through the bidding process, and then construct the approved landscape design.

**ADJOURNMENT**

There being no further business, the Joint Special Meeting of the City Council and the Planning Commission adjourned.

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TIM SPOHN, MAYOR

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CECELIA DUNLAP,  
DEPUTY CITY CLERK

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MARK RADECKI, VICE CHAIRMAN

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CECELIA DUNLAP,  
ASSISTANT SECRETARY

*PLANNING COMMISSION*

ITEM NO. 7.1



# CITY OF INDUSTRY

P.O. Box 3366 • 15625 E. Stafford St. • City of Industry, CA 91744-0366 • (626) 333-2211 • FAX (626) 961-6795

## MEMORANDUM

To: Planning Commission

March 5, 2015

From: Brian James

**Subject: Conditional Use Permit 14-10 – Request to allow alcohol service at the AMC Theater**

### Proposal

Section 17.12.025 of the Municipal Code requires approval of a Conditional Use Permit (CUP) by the Planning Commission for the establishment of alcohol service in full-service or fast-food restaurants. This application, which has been submitted by American Multi-Cinema (AMC) Inc. (Attachment 1), is to establish alcohol service inside the AMC Theater in the Puente Hills Mall. The intent is to offer a beverage option and enhance the movie-going experience, much like a restaurant that provides alcohol.

As shown in the attached floor plan (Attachment 2), AMC would develop an approximately 763 square foot bar area inside the theater called MacGuffins that would offer a full line of alcoholic beverages, including beer, wine, and spirits consistent with a type 47 license from the California Department of Alcoholic Beverage Control (ABC). Upon purchase, patrons would then be able to take the alcohol into any of the theater's auditoriums. MacGuffins would be the only place within the theater where alcohol could be purchased. Non-alcoholic beverages and food would not be sold at MacGuffins and would only be available at the other concession stands in the theater.

AMC has worked closely with City Staff and the Los Angeles County Sheriff's Department to craft a set of management and operational standards that fit the realities in Industry. These have been encapsulated in the AMC Alcohol Service Operations and Management Plan (Exhibit B of Attachment 6). The AMC Alcohol Service Operations and Management Plan will act as the enforceable conditions of approval for the CUP. A few highlights from the AMC Alcohol Service Operations and Management Plan include:

- The use of an electronic ID scanner to verify ages prior to any purchase of alcohol and track the number of alcoholic beverage purchases per patron.
- A limit of three alcoholic beverages per person within a two hour period (length of a typical movie) and a limit of purchasing two alcoholic beverages per person at any transaction.
- The service of alcohol only in unique plastic cups of 16 and 10-ounces with a black straw, which contrasts from non-alcoholic fountain drinks, which are provided in 30, 44, and 51-ounce cups with a decidedly different appearance (as shown in Exhibit B of Attachment 6).
- Specified hours for the service of alcohol between the hours of 10:30 and 12:30 AM Monday through Sunday.

- A requirement that licensed and uniformed guards be on-site between 6:00 PM and 3:00 AM (or closing) Friday through Sunday.
- A requirement that theater staff monitor all auditoriums every 30 minutes for compliance with the alcohol requirements.
- A requirement that theater staff receive approved training such as “TIPS for On-Premises” within 30 days of hire to learn how to spot violations and address intoxicated patrons.
- A requirement that food service be provided to maintain the theater as a bona fide restaurant as shown in Exhibit B of Attachment 6.

### *ABC*

AMC has worked closely with ABC to allow alcoholic beverage sales at theaters and have been allowed to apply for a Type 47 license, which allows the sale of beer, wine, and distilled spirits within a bona fide eating place and where minors are allowed. ABC has, in essence, classified the service of alcohol in movie theaters like that of restaurants. Similar requests for the service of alcohol inside AMC theaters have been approved and licensed by ABC and are operational in Tustin, Burbank, Chula Vista, Fullerton, and, most recently, Ontario to name a few in California. Other theater chains are also adding alcohol service and are also operational in California.

In order to maintain a liquor license, ABC enforces strict standards and requires an annual license renewal. ABC also conducts periodic inspections to ensure compliance with its standards.

### **Location and Surroundings**

As shown on the attached location map (Attachment 3), the proposed business is located at 1560 Azusa Avenue, which is the AMC Theater located within Puente Hills Mall. The site is surrounded by commercial uses on all sides, including Round-One Entertainment and Buffalo Wild Wings restaurant. Directly to the north, Applebee’s restaurant is currently under construction.

### **Staff Analysis**

The proposed project is consistent with the Zoning (“C” – Commercial) and General Plan (Commercial) designations of the site and complies with the standards in Section 17.12, *Commercial Zone*, of the Industry Municipal Code.

### *Alcohol Service Justification*

In addition to the AMC Alcohol Service Operations and Management Plan, AMC has provided the following justifications for the control of alcohol service. In Staff’s opinion, these justifications provide a solid rationale to support the request.

- AMC Theater is a family-oriented business and the intent is that it not become a bar/nightclub or operated in a manner that diminishes the movie-going experience. The intent is that alcohol be a beverage option much like that offered in a restaurant.
- If alcohol causes disruptions to the movie-going experience, AMC will lose business. It is in AMC’s best interest to control alcohol related behavior and cooperate with local law enforcement.
- Access to MacGuffins requires purchase of a movie ticket, which limits access to the movie-going public and adds an additional barrier/expense to the consumption of alcohol at the theater.
- Coupled with ticket prices, alcohol at the theater will be expensive, much more expensive than drinking off-site. This will help limit the consumption of alcohol at the theater.

- Most patrons will self-monitor their alcohol consumption because of: 1) the expense, 2) the need to leave the movie to purchase additional drinks, and 3) the need to leave the movie to use the restroom.

#### *Sheriff's Department Review*

The City works closely with the Sheriff Department to ensure that all requests for alcohol service are vetted and closely monitored. Given that this is a new request in the City, Staff and the Sheriff's Department met with the applicant and discussed the operations, security plan, potential issues unique to the City, and expectations. In addition, the Sheriff's Department has investigated this request and talked with AMC security personnel and has found that there have been no alcohol related law enforcement actions at AMC theaters in California. The Sheriff's Department has suggested several conditions of operation including periodic review of the CUP to monitor operations to ensure adherence to the conditions of approval. These conditions have been incorporated into the suggested conditions of approval (Exhibit B of Attachment 6).

#### *Environmental Analysis*

The proposed CUP 14-10 is exempt from compliance with the California Environmental Quality Act (CEQA) under CEQA Guidelines Section 15301 Class 1, which exempts the operation, permitting, or minor alteration of existing facilities involving negligible or no expansion of the existing use. The proposal would involve an interior modification to add a bar area and the service of alcohol inside the existing theater. A Notice of Exemption (Attachment 4) will be prepared for the project and filed with the Los Angeles County Clerk.

#### *Public Hearing*

The required public hearing notice (Attachment 5) was mailed to property owners within 300 feet of the site; posted at the City Hall, Gale Avenue fire station, and council chambers, and; published in the San Gabriel Valley Tribune by February 27, 2015.

### **Recommendation**

Because the proposed use complies with the use standards of the Municipal Code and AMC has committed to a set of operational and management standards that provide protection from the abuse of alcohol, Staff recommends that the Planning Commission Approve Resolution No. PC 2015-01 with the findings for approval and Standard Requirements and Conditions of Approval contained in the Resolution. (Attachment 6).

### **Attachments**

- Attachment 1: Application
- Attachment 2: Floor Plan
- Attachment 3: Location Map
- Attachment 4: Notice of Exemption
- Attachment 5: Public Hearing Notice
- Attachment 6: Resolution No. PC 2015-01 approving Conditional Use Permit No. 14-10 with findings of approval and Standard Requirements and Conditions of Approval

# **Attachment 1**

## **Application**



# CITY OF INDUSTRY

15625 East Stafford Street • Suite 101 • City of Industry • CA • 91744  
Phone: (626) 333-2211 • Fax: (626) 961-6795  
www.cityofindustry.org

RECEIVED

OCT 13 2014

CITY OF INDUSTRY

**CONDITIONAL  
USE PERMIT  
APPLICATION**

It is the business owner's responsibility to complete this application and checklist and notify the City of Industry Planning Department immediately if there are any changes to the business entity which differs from the information provided on this application.

### PROPOSAL

Location Address: 1560 S. Azusa Ave., City of Industry, CA 91748  
*Street City Zip + 4*

Describe *in detail* the type of business to be conducted and the daily operations of the business.

American Multi-Cinema, Inc. ("AMC") proposes to include the sale of alcoholic beverages for on-site consumption, in conjunction with the existing food and beverage offerings, at the existing AMC Puente Hills 20 Theatre.

Days of operation: 7 days/week Business Hours: No change Number of Employees No change

### APPLICANT INFORMATION

Applicant: American Multi-Cinema (AMC) Represented by Chris Burt of Manatt, Phelps, & Phillips, LLP  
Title: (AMC) Phone: (310) 312-4194 Email: cburt@manatt.com  
Address: 11355 W. Olympic Blvd., Los Angeles, CA 90064  
*Street City Zip + 4*

### BUSINESS INFORMATION

Business Name (DBA): AMC is represented by Chris Burt and Victor De la Cruz of Manatt, Phelps & Phillips, LLP

Corporation Name: American Multi-Cinema, Inc. (AMC)

Mailing Address (if different then location address): 11500 Ash Street Leawood KS 66211  
*Street City State Zip + 4*

Phone: \_\_\_\_\_ Fax: \_\_\_\_\_ E-mail Address: \_\_\_\_\_

Business Owner Contact (if different than applicant): \_\_\_\_\_ Phone: \_\_\_\_\_

### PROPERTY OWNER INFORMATION (MUST COMPLETE AND NOTARIZE THE PROPERTY OWNER CONSENT AFFIDAVIT)

Property Owner: Puente Hills Mall, LLC ( by George A. Schmidt) Phone: \_\_\_\_\_

Address: 180 East Broad Street, Columbus, OH 43215  
*Street City Zip + 4*

### BUSINESS OWNER DECLARATION

I declare that the statements and information contained in this application are true and correct to the best of my knowledge and belief. I agree to conform with all requirements of zone, building, fire and all other applicable laws, ordinances and regulations pertaining to the operations of such business. Furthermore, I agree to notify the City of Industry Planning Department within ten (10) days of any change in the facts stated herein.

Name (print or type): Chris Burt, Representing AMC Signature: [Signature] Date: 9/23/14

### SUBMITTAL CHECKLIST – MAKE SURE THE BELOW ITEMS ARE COMPLETE BEFORE SUBMITTING APPLICATION FOR APPROVAL

- Verify use is permitted (contact Planning Department at 626-333-2211)
- Obtain approval on Supplement A Form from LA County Fire Department
- Obtain approval on Refuse Application Form from Valle Vista Services
- Understand and accept standard conditions of approval (IMC Section 17.44.030)
- Provide Floor and Site Plan
- Provide copy of Owner's Affidavit
- Complete IMC Information Sheet

Under federal and state law, compliance with disability access laws is a serious and significant responsibility that applies to all California building owners and tenants with buildings open to the public. You may obtain information about your legal obligations and how to comply with disability access laws at the following agencies:

The Division of the State Architect at [www.dgs.ca.gov/dsa/torres.asp](http://www.dgs.ca.gov/dsa/torres.asp)  
The Department of Rehabilitation at [www.rehab.ca.gov/rehab](http://www.rehab.ca.gov/rehab)  
The California Commission on Disability Access at [www.ccdc.ca.gov/](http://www.ccdc.ca.gov/)

### To Be Completed By City Staff

Conditional Use Permit No. 14-10 Filing Date: 10/13/14 Accepted by: BJ

Date Deemed Complete: \_\_\_\_\_ Date Approved: \_\_\_\_\_ Zoning/GP Designation: COMM

Fees:  Filing Fee 250.00  Environmental Fee Deposit NA  CA Dept Fish and Game Fee NA

JN 9147



# CITY OF INDUSTRY

15825 East Stafford Street Suite 101 City of Industry CA 91744  
(626) 333-2211 FAX (626) 961-6795  
www.cityofindustry.org  
planning@cityofindustry.org

**PROPERTY OWNER  
CONSENT AFFIDAVIT FOR  
CONDITIONAL USE PERMIT  
APPLICATION**

**\*\*THIS FORM MUST BE NOTARIZED\*\***

**BUSINESS DESCRIPTION** AMC Theatres Puente Hills 30 (movie theatre)

**BUSINESS LOCATION** 1560 South Azusa Ave., City of Industry, CA 91748

STATE OF CALIFORNIA )  
COUNTY OF LOS ANGELES ) SS DATE:  
CITY OF INDUSTRY )

I/We, George A. Schmidt, of Puente Hills Mall, LLC, the **OWNER(s)** of the Real Property involved in this application, do hereby consent to the filing of this application. I/We do hereby appoint the following person(s) as my agent(s) to act on my behalf on the foregoing application:

**OWNER'S AGENT:** Kevin M. Connor Phone No. ( )  
(e.g. Property Manager) (Printed Name of Agent)

**Address of Owner's Agent:** 11500 Ash Street, Leawood, KS 66211  
(Number) (Street) (City) (State) (Zip)

**OWNER:** Puente Hills Mall, LLC **OWNER:**   
(Signature) (Signature)

**Address:** 180 East Broad, 21st Floor **Address:** 180 East Broad, 21st Floor  
(Number) (Street) (Number) (Street)  
Columbus, OH 43215 Columbus, OH 43215  
(City) (State) (Zip) (City) (State) (Zip)

**NOTE:** A NOTARIZED OWNER'S AFFIDAVIT IS REQUIRED AS PARTY OF ALL APPLICATIONS. IF OWNERSHIP IS HELD OTHER THAN BY AN INDIVIDUAL, PROOF, IN THE FORM OF A SPECIAL POWER OF ATTORNEY, AUTHORIZED CORPORATE RESOLUTION, PARTNERSHIP AGREEMENT OR OTHER ACCEPTABLE DOCUMENT(S) SHALL BE SUBMITTED TO THE CITY ALONG WITH THE NOTARIZED SIGNATURES OF THOSE OFFICERS AUTHORIZED TO SIGN ON BEHALF OF THE CORPORATION OR PARTNERSHIP. PLEASE NOTE THAT OUR APPLICATION MAY NOT BE DETERMINED TO BE COMPLETE UNLESS AND UNTIL OWNERSHIP CAN BE VERIFIED.

### FOR NOTARY USE ONLY

STATE OF Ohio )  
COUNTY OF Franklin )

Subscribed and sworn to (or affirmed) before me this 7<sup>th</sup> day of August 2014  
BY Puente Hills Mall, LLC BY George A. Schmidt  
(Printed Name of Owner As Signed Above) (Printed Name of Owner As Signed Above)

Personally known to me or proved to me on the basis of satisfactory evidence to be the person(s) who appeared to me.

**SEAL**  
NOTARY PUBLIC



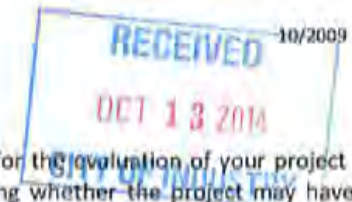
Rochelle J. Reed  
Notary Public, State of Ohio  
My Commission Expires 10-24-2017



**ADDENDUM TO PROPERTY OWNER'S  
CONSENT AND AFFIDAVIT**

**Nothing contained in the foregoing Consent and Affidavit shall be deemed to grant the agent named therein any authorization or authority to act on behalf of the Owner other than as expressly set forth therein. Furthermore, in no event shall the agent named therein do any other act that would expose the Owner to any liability, claims or costs.**

## Environmental Information Form



The Environmental Information Form is intended to provide the basic information necessary for the evaluation of your project to determine its potential environmental impacts. This review provides the basis for determining whether the project may have a significant impact on the environment, as required by state law, or more specifically, the California Environmental Quality Act (CEQA). After this information has been evaluated by the Planning Department, a determination will be made regarding the appropriate environmental documentation for your project, in accordance with the CEQA Guidelines.

If no significant environmental impacts are anticipated, or if impacts can be mitigated or avoided by a change or specific requirement in the project's design or operation, a Negative Declaration or Mitigated Negative Declaration will be prepared. If potential significant environmental impacts are identified, an Environmental Impact Report must be prepared, which focuses on the areas of concern identified by the Initial Study.

The City of Industry, as Lead Agency, is required to comply with CEQA. In order to assist us in completing this required environmental review, please provide us with the information outlined below. Please note that upon review of the submitted information, City staff may request additional supporting documentation to assist in the environmental analysis of your project to ensure compliance with CEQA.

This Environmental Information Form works in concert with the other applications. Both need to be completed in order for your application to be accepted as complete. If you need assistance in completing the Environmental Information Form, or have questions regarding the environmental review procedures, please contact the Planning Department at (626) 333-2211.

### General Information

AMC Puente Hills 20 Theatre  
Represented by Chris Burt of

1. Name developer, agent, or project sponsor: Manatt, Phelps, & Phillips, LLP Phone Number: (310) 312-4194

Address: 11355 W Olympic Blvd., Los Angeles, CA 90064  
*Street City Zip*

2. Project name: AMC Puente Hills 20 Theatre CUP Assessor's Parcel Number: 8265-004-118

Address: 1560 S Azusa Ave, City of Industry, CA 91748  
*Street Zip*

### Environmental Setting (Attach additional sheets and photos as necessary)

1. Describe the project site as it exists before the project, including information on topography, soil stability, plants and animals, and any cultural, historical, or scenic aspects:

The project site is the existing AMC Puente Hills 20 Theatre, which is located in the Puente Hills Mall, a commercial shopping center and associated parking facilities. The site is located near the intersection of Azusa Avenue and Colima Road adjacent to State Route 60.

2. Provide photographs of the site and describe any existing structures onsite and the use of the structures:

The site is currently occupied by the AMC Puente Hills 20 Theatre, as part of the Puente Hills Mall.

See attached Site Photograph Exhibit.

3. Describe the surrounding properties (north, east, south, and west of the project site), including information on plants and animals and any cultural, historical, or scenic aspects. Indicate the type of land use (industrial, commercial, etc.), intensity of land use (warehousing, shops, department stores, etc.), and scale of development (height, frontage, setback, rear yard, etc.):

The site is bound by State Route 60 to the north; Albatros Road and additional commercial uses to the east; Colima Road, additional commercial uses, and Peter F. Schabarum Regional Park to the south; and, Azusa Avenue, additional commercial uses, and residential uses to the west.

4. Provide photographs of the surrounding uses and adjoining properties. See attached Site Photograph Exhibit.

**Project Description (attach additional sheets as necessary) See attached Letter of Explanation.**

1. List and describe any other permits and approvals required for project implementation, including those required by local, regional, state, and/or federal agencies:

A Type 47 License from the California Department of Alcoholic Beverage Control to allow on-site alcohol sales in conjunction with the existing food and beverage options. A building permit, issued by the City of Industry may also be required for minor interior tenant improvements.

2. List any other development proposals associated with the project and its relationship to a larger project or series of projects, if any:

Not applicable.

3. Demolition proposed: No: X Yes:      Square feet:

4. Tentative development schedule including start and completion dates, and phasing if proposed:

Upon CUP approval and issuance of building permits, if required.

5. If commercial or office, indicate the type, whether neighborhood, city or regionally oriented, square footage, anticipated hours of operation, estimated employees per shift and number of shifts, and location of loading facilities and anticipated hours of loading/delivery operations:

The site is currently developed with a regional commercial center, which includes the AMC Puente Hills 20 Theatre.

6. If industrial, manufacturing or warehouse, indicate the type and major function, square footage, anticipated hours of operation, estimated employees per shift and number of shifts, and location of loading facilities and anticipated hours of loading/delivery operations:

Not applicable.

7. If institutional, indicate the type and major function, square footage, anticipated hours of operation, estimated employees per shift and number of shifts, location of loading facilities and anticipated hours of loading/delivery operations, and community benefits to be derived from project:

Not applicable

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8. If the project involves an exception, conditional use permit, or re-zoning application, state this and indicate clearly why the application is required:

Conditional Use Permit is required to permit the sale of alcoholic beverages for on-site consumption, which will be sold under a Type 47 License issued by the ABC. Alcoholic beverages will be sold in conjunction with the food and beverage options at the existing AMC Puente Hills 20 Theatre.

**Potential Environmental Impacts**

If any of the following items are applicable to your project please discuss (use a separate sheet as necessary).


	Yes	No
1. Change in existing features of any drainage ways or hills, or substantial alteration of any ground contours.		X
2. Change in scenic views or vistas from existing residential areas or public lands or roads.		X
3. Change in pattern, scale, or character of the general area of the project.		X
4. Result in significant amounts of solid waste or debris.		X
5. Change in or introduction of air emissions (e.g., dust, ash, smoke, fumes) or odors in the vicinity during grading and/or construction phases.		X
6. Change in surface water (e.g., channel, stream) or ground water quality or quantity.		X
7. Substantial alteration of existing drainage patterns that could lead to flooding on- or offsite.		X
8. Substantial change in noise or vibration levels in the project vicinity during grading and/or construction phases.		X
9. Substantial change in traffic patterns and circulation in the project vicinity.		X
10. Substantial change in topography of project site and/or vicinity.		X
11. Site located on filled land or on slopes of 10 percent or more.		X
12. Use or disposal of potentially hazardous materials, such as toxic substances, flammables, or explosives.		X
13. Substantial change in demand for public services and utilities and service systems (police, fire, water, wastewater, solid waste, electricity, gas, etc.)		X
14. Substantial increase in fossil fuel consumption (electricity, oil, natural gas, etc.)		X

What studies have been prepared for this site that might assist the City in reviewing the potential environmental impacts of the project? Some examples of such studies include environmental site assessment, soils and geology study, biological resources study, cultural resources study, hydrology study, etc. These studies may have been prepared for this project or some earlier development project. Supporting documentation or studies may answer questions and facilitate the processing of your application. None. See the City's prior entitlement records associated with the development of the Puente Hills Mall, particularly the 1996 Development Plan (JN 7959), CUP 96-1 (JN 7926), and CUP 96-5 (JN 7942).

**Certification**

I am the legal owner of the property that is the subject of this application or have been authorized by the owner to act on his/her behalf regarding this application. I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and that the facts, statements, and information presented are true and correct to the best of my knowledge and belief. I further acknowledge that any false statements or information presented herein may result in the revocation of any approval or permit granted on the basis of this information.

Chris Burt of Manatt, Phelps, & Phillips, LLP

Name of preparer: Representing AMC Preparer's signature: 

Date: 7/29/2014



## INDUSTRY MANUFACTURERS COUNCIL

Chamber of Commerce for the City of Industry

15651 Stafford Street City of Industry, CA 91744-4497

(626) 968-3737 Fax: (626) 330-5060

[www.industrychamber.org](http://www.industrychamber.org)

### DIRECTORY LISTING INFORMATION FORM

**ALL BUSINESSES IN THE CITY OF INDUSTRY** are included in a database which is maintained by the Industry Manufacturers Council (Chamber of Commerce for City of Industry). The information provided on this form **WILL BE ADDED** to the database and published in a printed and on-line version of the **CITY OF INDUSTRY BUSINESS DIRECTORY.**

DATE: October 1, 2014

PHONE: (913) 213-2461 ( ) \_\_\_\_\_ FAX ( ) \_\_\_\_\_

EMAIL: bholton-deere@amctheatres.com WEBSITE: amctheatres.com

COMPANY NAME: American Multi-Cinema, Inc. dba AMC Theatres Puente Hills 20

CORPORATE OFFICER: Kevin M. Connor TITLE (C.E.O., PRES. ETC.): Sr. VP/Secretary

ADDRESS: 1560 South Azusa Ave.

PO BOX: \_\_\_\_\_ CITY: City of Industry ZIP+4: 91748-1603

DESCRIPTION OF BUSINESS: Movie Theatre

MAIN INDEX CATEGOTRY (I.E., ADHESIVES, CHEMICALS, PLASTICS, ETC.)

Movie Theatre

AREA OF PRODUCT DISTRIBUTION: N/A

CNTY: \_\_\_\_\_ STATE \_\_\_\_\_ REG \_\_\_\_\_ NAT'L \_\_\_\_\_ IMPORT \_\_\_\_\_ EXPORT \_\_\_\_\_ INT'L \_\_\_\_\_

COMPANY HEADQUARTERS LOCATED: 11500 Ash Street, Leawood KS 66211

*(City and State)*

MFG: \_\_\_\_\_ NON-MFG: X NUMBER OF BRANCHES: \_\_\_\_\_ NUMBER OF EMPLOYEES: 62

*(This location only)*



**South Coast**  
**Air Quality Management District**  
 21865 Copley Drive, Diamond Bar, CA 91765-4182  
 (800) 388-2121 • [http:// www.aqmd.gov](http://www.aqmd.gov)

**Air Quality Permit Checklist**

California Government Code Section 65850.2 prohibits cities from issuing an occupancy permit to a business without clearance from the local air quality agency. This Checklist will determine if you need to obtain clearance from the South Coast Air Quality Management District (SCAQMD).

Company Name: American Multi-Cinema, Inc. / AMC Puente Hills 20 Theatre  
 Property Address: 1560 Azusa Ave.  
 City: City of Industry Zip Code: 91748  
 Contact Person: Chris Burt Title: Representing AMC  
 Type of Business: Manatt, Phelps, & Phillips, LLP Telephone: (310) 312-9194  
 Fax Number: (310) 914-5792 e-mail address: cburt@manatt.com  
 Applicant (print name): AMC Signature: [Signature]  
 Date: 7/21/14

- Will the facility have any of the following equipment? Yes  No 
  - Charbroiler
  - Dry cleaning machine
  - Spray booth
  - Printing press (screen/lithographic/flexographic)
  - Internal combustion engine greater than 50 HP (excluding motor vehicles)
  - Boiler/combustion equipment (greater than 1 million BTU/hr. maximum input)
  - Abrasive blasting cabinet/room
  - Baghouse/cartridge-type dust filter/scrubber
  - Motor fuel storage and dispensing equipment
- Will any of the following operations be performed? Yes  No 
  - Application of paints or adhesives
  - Etching, plating, casting, or melting of metals
  - Molding, extruding, or curing of plastics
  - Mixing and blending of liquids and/or powders
  - Storage of acids, solvents, organic liquids, or fuels
  - Production of fumes, dust, smoke, or strong odors

**If you answered "No" to both questions, this checklist is your clearance from SCAQMD.** If you answered "Yes" to either question, you must contact SCAQMD to determine if air quality permits are required. If permits are needed, SCAQMD will assist you in submitting permit application(s) and then provide you with a clearance letter. You can contact SCAQMD's Small Business Assistance Office at 1-800-388-2121 or by email at: [smallbizassistance@aqmd.gov](mailto:smallbizassistance@aqmd.gov).



**CITY OF INDUSTRY  
APPLICATION FOR COMMERCIAL/INDUSTRIAL WASTE SERVICE**

Applications will not be accepted without this form signed by Valley Vista Visa Services and attached to the application. City of Industry Municipal Code requires every business to arrange for appropriate solid waste collection service with the City approved collector. The requirement applies to any permanent or temporary businesses operating in the City of Industry.

Valley Vista Services - (800) 442-6454  
17445 RAILROAD STREET  
CITY OF INDUSTRY, CA 91745

**BUSINESS INFORMATION (please type or print clearly)**

Business Name/DBA: American Multi-Cinema / AMC Theatre Puente Hills 20 (inside of the Puente Hills Mall) Phone: \_\_\_\_\_

Service Address: 1580 S. Azusa Avenue, City of Industry, CA 91748  
Street Zip

Billing Address: Address is currently on file with Valley Vista Services - no changes to existing service.  
Street City/State Zip

Requested by: Chris Burt of Manatt, Phelps & Phillips, LLP Title: Representing AMC Theatres

The failure to maintain solid waste collection service and the accumulation of solid waste on a premises where service has been discontinued is a violation of Industry Municipal Code Chapters 8.20 and 1.30, and may result in the commencement of various remedies available to the City, including the issuance of administrative citations, the commencement of a nuisance abatement action, and the possible revocation of any use permit or other City approvals related to the use of the property.

All delinquent charges and penalties imposed are deemed to be civil debts owed to the City by the customer and property owner, and may be collected by any available means, including the filing of a civil action.

Payment for service is the joint obligation of the customer and the property owner (if separate from the customer). In the case of non-payment by the customer, the owner of the property may be held responsible for payment and no new service may be established and no property related permit, approval or entitlement may be issued by the City until all delinquent amounts are paid.

**BILLING DISPUTE PROCEDURES** - Any customer who has been billed for service and desires to contest the extent, degree or reasonableness of the charges billed, must file a written statement of such protest with the collector and the City Manager's office within 30 days of the mailing of the disputed bill. The City Manager will review the accounts of customers who dispute collection charges within 30 days after receiving a written request for review. If an error is found after such review, the City or collector will promptly correct the error and, if required and at the City's sole discretion, the City or collector will either credit the customer's account or give the customer a refund.

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**Office Use Only**

Recycling and solid waste collection services have been reviewed and/or arranged for by the above business.

Type of Request:     New     Pre-Existing     Not Applicable

Approximate Start Date: Nov. 2008

Comments: 1 40yd. self packer x DC / 1-4yd LL x 1-for C/B

Approved by: Tanya Rosales    Date: 10/2/14    Account No.: 004646.01.02





**CITY OF INDUSTRY  
USE PERMIT  
SUPPLEMENT A**

Before any application for a can be accepted as complete, the applicant must obtain a Fire Department stamp of approval on this form. In order to obtain approval, the applicant must submit a **COMPLETED** application to the LOS ANGELES COUNTY FIRE PREVENTION DIVISION located at:

15660 E. STAFFORD STREET  
CITY OF INDUSTRY, CA 91744  
Phone: (626) 336-6950

The Fire Prevention Bureau has reviewed the application for AMC Puente Hills 20 Theatre a CUP for on-site alcohol sales at the  
proposed at 1560 S. Azusa Ave., City of Industry, CA 91748, City of Industry.  
street zip code

**OFFICE USE ONLY**

**Recommendation is:**

- APPROVAL** - The proposed use and building meets Fire Prevention requirements.
- DENIAL** - The proposed use and/or building failed the minimum Fire Prevention requirements.

**Comments:**

Provide U.L. approved, fire extinguisher(s) - minimum rating: 2A 10 BC  
within 75 feet travel distance.

Sprinkler system shall be monitored by a fire alarm company (100 sprinkler heads or more).

Provide a 5-year certification test on the sprinkler system. SYZ DONG MARCIA 2014

Contact the Fire Department within 2 weeks after occupancy for field inspection. \_\_\_\_\_ occupancy only.

File for the following permits:

- Flammable Liquids Storage or Use
- High-pile Stock, Commodity classification
- Other
- Do not occupy building until all Fire Department requirements are met.

**COUNTY OF LOS ANGELES  
FIRE PREVENTION DIVISION  
APPROVED**  
by: [Signature] Date: 10-2-14  
 Subject to field inspection approval  
 Subject to conditions on plans  
 Subject to compliance with correction about requirements  
The stamping of this plan and specification SHALL NOT be held to permit or to be an excuse for the violation of any provisions of any County/City Ordinance or State Law.

Fire Department Stamp **Los Angeles County Fire Department  
Fire Prevention Division**

**PERMITS REQUIRED**

ASSEMBLY PERMIT

*Checklist (completed by applicant)*

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Complete Statement of Intended Use                          | <input checked="" type="checkbox"/> Complete Hazardous Materials Declaration            |
| <input checked="" type="checkbox"/> Complete Fire Extinguisher Requirements                     | <input checked="" type="checkbox"/> Complete High-Piled Combustible Storage Declaration |
| <input checked="" type="checkbox"/> Complete Occupant Emergency Information Form                | <input checked="" type="checkbox"/> Include Floor and Site Plan                         |
| <input checked="" type="checkbox"/> Provide Statement of Intended Use Letter signed by Business | <input checked="" type="checkbox"/> Obtain stamp on Use Permit Supplement A             |
| <input checked="" type="checkbox"/> Owner or Authorized Agent                                   |   |

October 1, 2014

City of Industry  
15625 East Stafford Street #100  
City of Industry, CA 91744

Re: Intended Use Letter for AMC Puente Hills 20 Theatre Conditional Use Permit

Dear Mr. Brian James:

This firm represents American Multi-Cinema, Inc. (“AMC”). The following information is in answer to the City of Industry’s request regarding the business operations to be conducted at the AMC Puente Hills 20 Theatre located at 1560 South Azusa Avenue, City of Industry, California, 91748 (“AMC 20 Theatre”).


AMC proposes to allow the on-site sale and consumption of alcoholic beverages at the AMC Puente Hills 20 Theatre (the “Project”). AMC does not propose any exterior modifications to the AMC 20 Theatre, the overall square footage of the theatre will remain unchanged, and no additional parking will be necessary. The only physical changes proposed are minor interior modifications. For a summary of the proposed changes to the AMC 20 Theatre, please see the attached floor plan.

The primary operations of AMC 20 Theatre – the screening of movies and the sale of concessionary items – will remain the same, and the sale of alcoholic beverages will be incidental and accessory to such uses. AMC has adopted alcohol operational policies which are designed to ensure an overall safe experience at the AMC 20 Theatre and compliance with all applicable regulations regarding the sale of alcoholic beverages. For instance, AMC strictly prohibits the sale of alcoholic beverages to minors and has stringent standards designed to safeguard against any purchase by under-aged persons. Moreover, all alcohol kept on-site will be inventoried and stored in a secure location that will be only accessible by managers of the theatre.

October 1, 2014  
Page 2

For additional information, please refer to the Letter of Explanation – CUP Application for the On-Site Sale of Alcohol, included in the application package.

Sincerely,



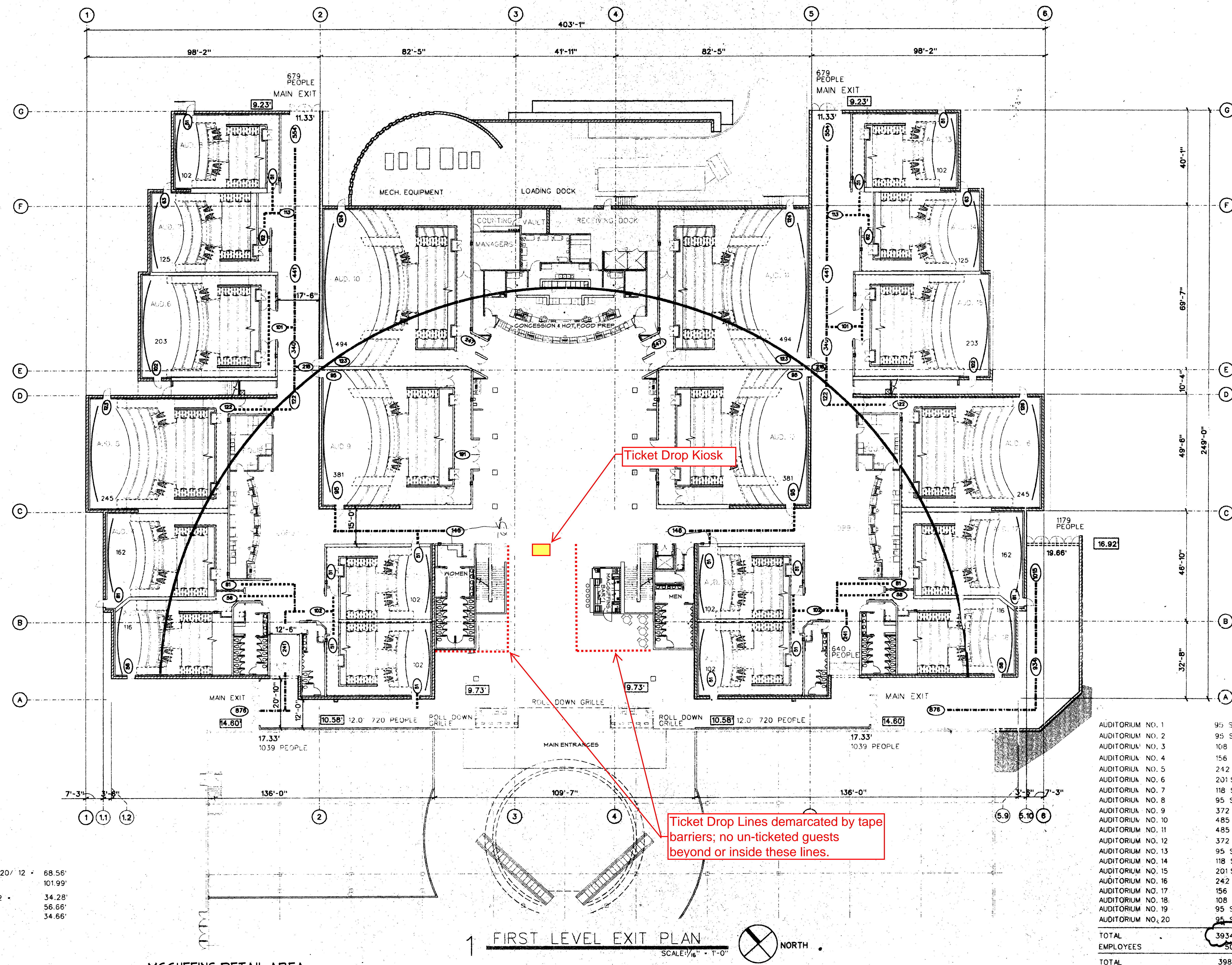
Christopher S. Burt  
Manatt, Phelps & Phillips, LLP

# **Attachment 2**

## **Floor Plan**

LEGEND

- ⊖ INDICATES NUMBER OF THEATER OCCUPANTS EXITING.
- 000" INDICATES REQUIRED EXIT WIDTH
- 0.00' INDICATES EXIT WIDTH PROVIDED



REQUIRED EXIT WIDTH	414 X .20 / 12 =	68.56'
PROVIDED EXIT WIDTH		101.99'
REQUIRED MAIN EXIT WIDTH	68.56 / 2 =	34.28'
PROVIDED MAIN EXIT WIDTH		56.66'
PROVIDED FRONT EXIT WIDTH		34.66'

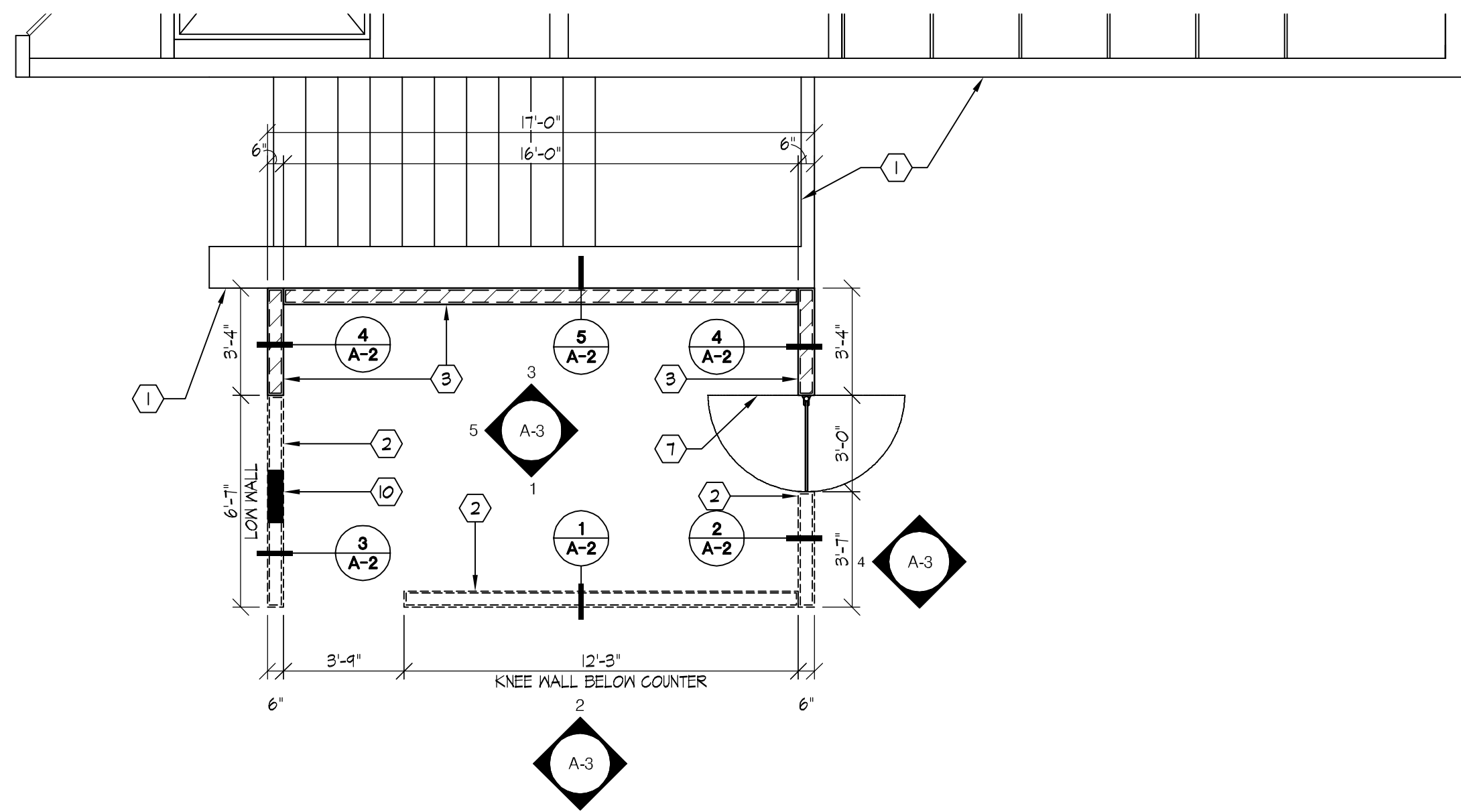
MCGUFFINS DETAIL AREA

1 FIRST LEVEL EXIT PLAN  
 SCALE: 1/8" = 1'-0" NORTH

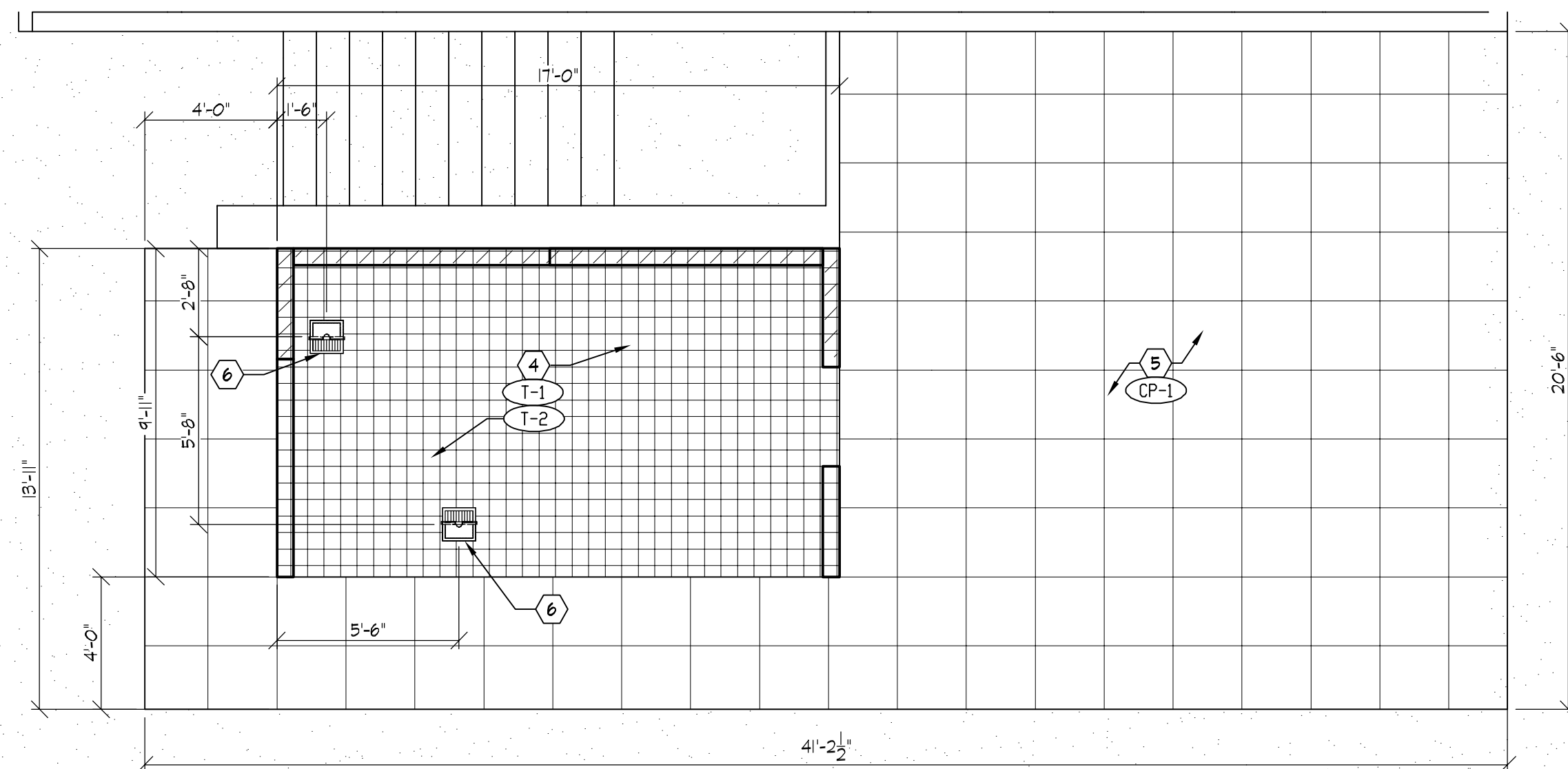
AUDITORIUM NO. 1	95 SEATS
AUDITORIUM NO. 2	95 SEATS
AUDITORIUM NO. 3	108 SEATS
AUDITORIUM NO. 4	156 SEATS
AUDITORIUM NO. 5	242 SEATS
AUDITORIUM NO. 6	201 SEATS
AUDITORIUM NO. 7	118 SEATS
AUDITORIUM NO. 8	95 SEATS
AUDITORIUM NO. 9	372 SEATS
AUDITORIUM NO. 10	485 SEATS
AUDITORIUM NO. 11	485 SEATS
AUDITORIUM NO. 12	372 SEATS
AUDITORIUM NO. 13	95 SEATS
AUDITORIUM NO. 14	118 SEATS
AUDITORIUM NO. 15	201 SEATS
AUDITORIUM NO. 16	242 SEATS
AUDITORIUM NO. 17	156 SEATS
AUDITORIUM NO. 18	108 SEATS
AUDITORIUM NO. 19	95 SEATS
AUDITORIUM NO. 20	95 SEATS
TOTAL	3934 SEATS
EMPLOYEES	50
TOTAL	3984

A MALL RENOVATION & ENTERTAINMENT CENTER  
 BUENTE HILLS MALL  
 CITY OF INDUSTRY,  
 CALIFORNIA

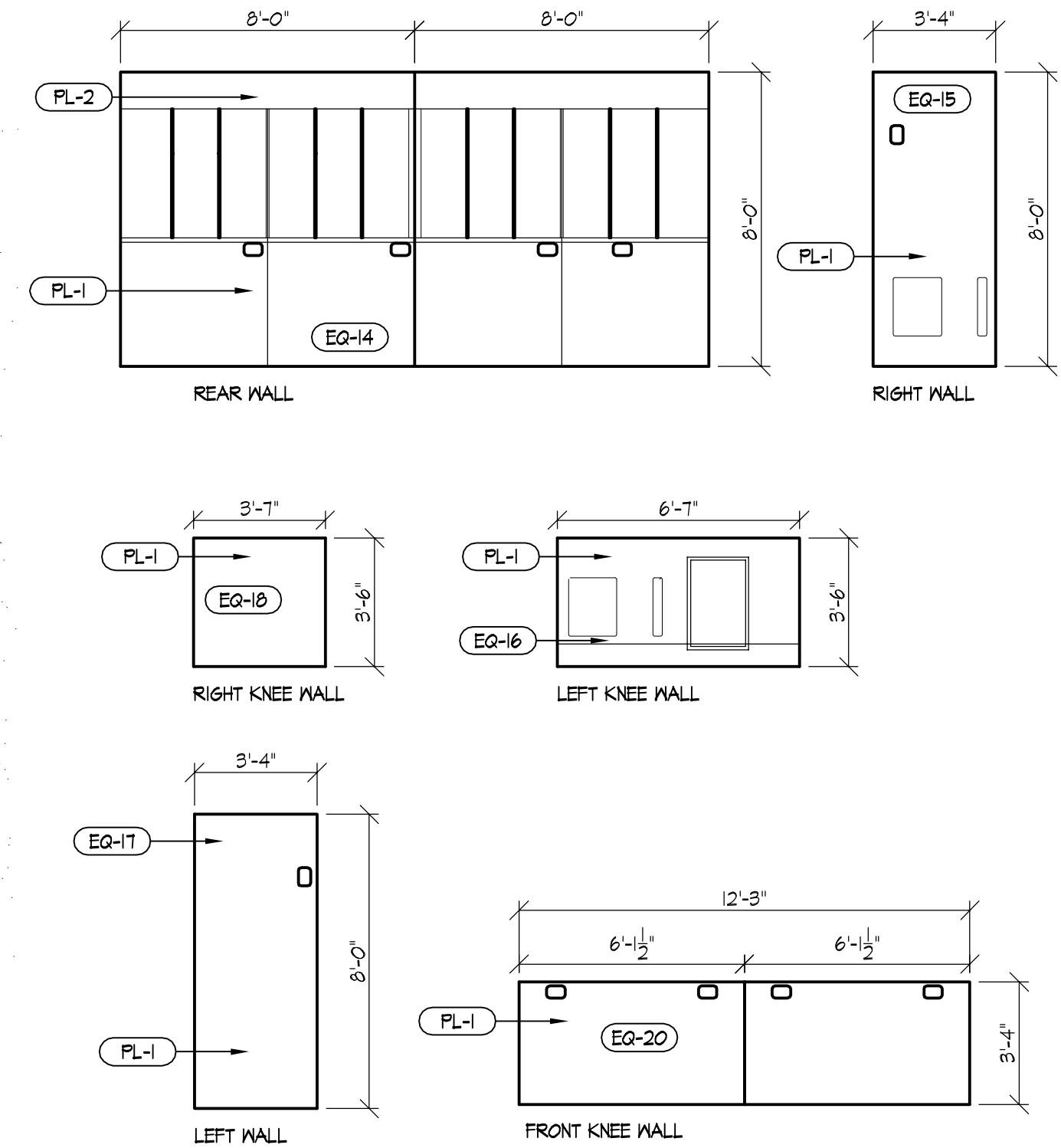
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 DATE 8-19-96  
 SCALE 1/8" = 1'-0"  
 DRAWN  
 APPROVED  
 SHEET



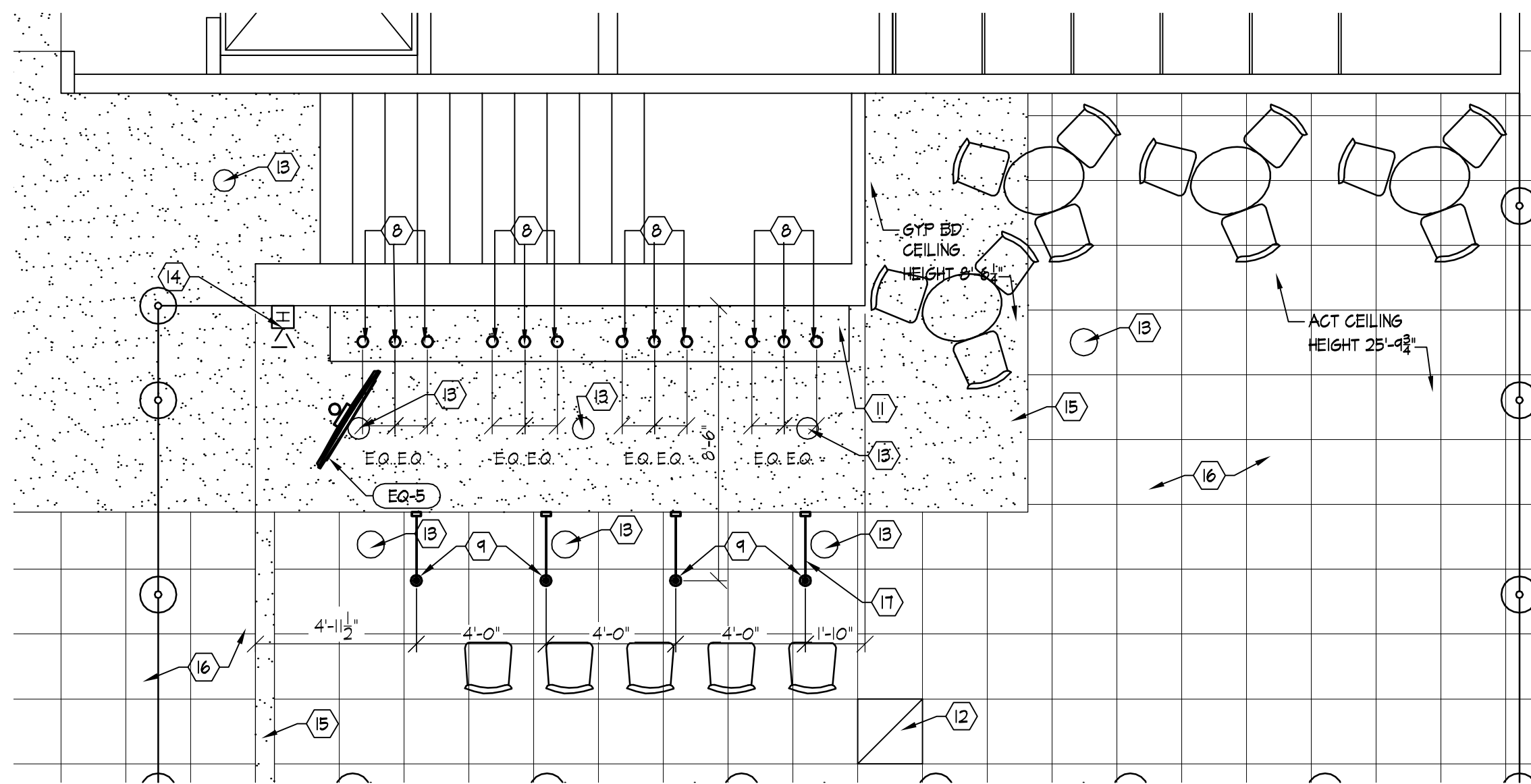
**1 PROPOSED FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**4 PROPOSED FLOOR FINISH PLAN**  
SCALE: 1/4" = 1'-0"



**5 PROPOSED EQUIPMENT ELEVATIONS**  
SCALE: 1/4" = 1'-0"



**2 PROPOSED RCP**  
SCALE: 1/4" = 1'-0"

SPECIFICATIONS	
<b>KEY FLOOR FINISHES</b>	
T-1	FLOOR TILE: DALTILE QUARRY TEXTURES, 6"x6"x1/2", WITH ABRASIVE, COLOR ASHEN GREY. PRISM SURE COLOR GROUT ANSI A118.7, COLOR: NATURAL GRAY #4. DALTILE FOUR STAR RAPID SETTING SYSTEM. DRS45 COMPLETE CONTACT RS SINGLE COMPONENT FORTIFIED MORTAR GRAY ANSI A118.4 NOTE: USE 6"x6" QUARRY TILE BULLNOSE Q-1665 WITH ABRASIVE TRANSITIONS. NOTE: CONTACT LOCAL DALTILE REPRESENTATIVE.
T-2	TILE BASE: DALTILE QUARRY TEXTURES, 5"x6"x1/2", #Q-3565, COLOR: ASHEN GRAY. PRISM SURE COLOR GROUT ANSI A118.7, COLOR: NATURAL GRAY #4. DALTILE FOUR STAR RAPID SETTING SYSTEM. DRS45 COMPLETE CONTACT RS SINGLE COMPONENT FORTIFIED MORTAR GRAY ANSI A118.4. NOTE: BASE GOES ON FLOOR, NOT ON TOP OF TILE.
CP-1	2' X 2' BLACK CARPET TILE SQUARES. TO BE PROVIDED BY LOAD KING.

KEY WALL/SURFACE FINISHES			
XXX	MANUFACTURER	COLOR	LOCATION
PL-1	WILSON ART LAMINATE	SATIN SILVER #4829	UPPER WALL
PL-2	WILSON ART LAMINATE	ASIAN NIGHT #1944	LOWER WALL
PL-3	WILSON ART LAMINATE	SILVER #D334	TOE KICK
PL-4	WILSON ART LAMINATE	BLACK	CHAIR RAIL
PL-5	WILSON ART LAMINATE	WHITE	--
S-1	CORIAN COUNTERTOP		BAR TOP, WALL CAP
S-2	SILESTONE COUNTERTOP		POS STATIONS
KEY CEILING			
C-1	SUSPENDED CEILING: 24"x24" VINYL FACED LAY-IN PANELS (WHITE) IN EXISTING T-GRID BY ARMSTRONG OR EQUAL. CLASS 'A' FIRE RATING.		
L-1	ASPECTS DROPLET COLLECTION- RED HAND BLOWN I- LIGHT PENDANT. MODEL # DLPI3RDSCT		

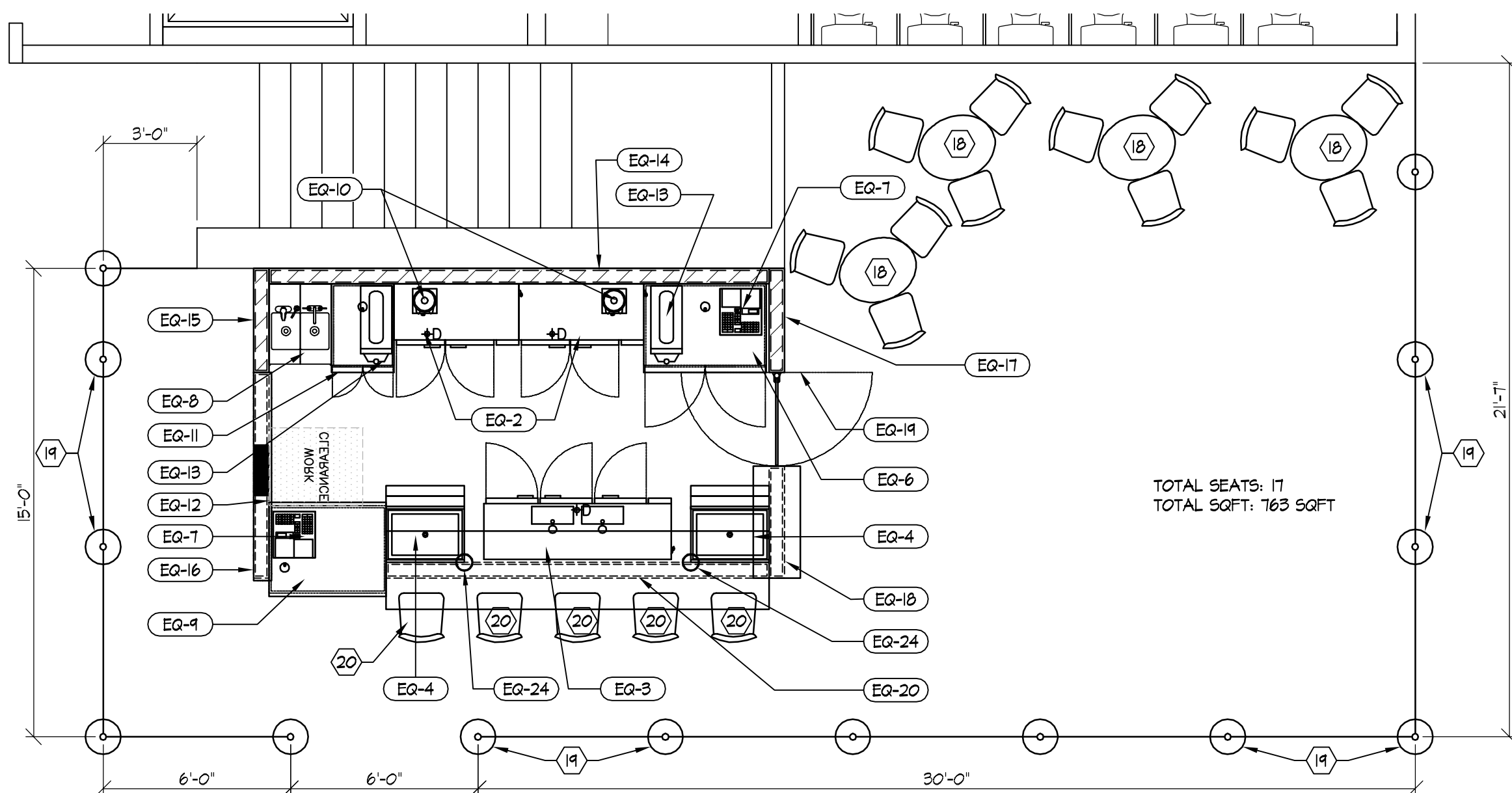
**KEYED NOTES:**

- ① EXISTING WALL TO REMAIN. GC. TO REMOVE EXISTING FINISHES AND APPLY THE MAGGUFFIN FINISHES.
- ② NEW LOW WALL BELOW COUNTER.
- ③ NEW WALL. SEE SHEET A-2.
- ④ NEW FLOOR TILE (T-1) AND TILE BASE (T-2)
- ⑤ NEW 24"x24" BLACK CARPET TILES.
- ⑥ NEW FLOOR SINK.
- ⑦ NEW SWING GATE.
- ⑧ NEW LED LIGHTS, TYP. REFER TO ELEC.
- ⑨ NEW PENDANT LIGHTS.
- ⑩ NEW ELECTRICAL PANEL BY LOAD KING.
- ⑪ NEW KIOSK SOFFIT.
- ⑫ EXISTING HVAC DEVICE DIFFUSER TO REMAIN.
- ⑬ EXISTING LIGHTING TO REMAIN.
- ⑭ RELOCATED FIRM ALARM STROBE LIGHT AND HORN.
- ⑮ EXISTING SOFFIT TO REMAIN
- ⑯ EXISTING CEILING GRID TO REMAIN
- ⑰ 1-5/8" UNISTRUT ATTACHED TO 4"x4" STEEL PLATE. BOLT PENDANT MOUNT TO EXISTING STRUCTURE.
- ⑱ NEW BAR HEIGHT TABLES AND SEATING. PROVIDED BY LOAD KING.
- ⑳ NEW TENSOR BARRIER. PROVIDED BY LOAD KING.
- ㉑ NEW BAR HEIGHT SEATING.

EQUIPMENT SCHEDULE			
TAG #	QTY	DESCRIPTION	MODEL #
EQ-1	--		
EQ-2	2	2- DOOR BEVERAGE REFRIGERATOR	#BB48 6SY (48 X 23.5 X 34)
EQ-3	1	72" KEGATOR	BEVERAGE-AIR #DD7B
EQ-4	2	30" ICE BIN W/ SP RAIL, W/COLD PLATE	KROWNE, KR18-30"
EQ-5	1	WALL MOUNTED TV	--
EQ-6	1	4'-0" P.O.S. TABLE	--
EQ-7	2	P.O.S. EQUIPMENT BY OWNER	--
EQ-8	1	DUMP SINK/HAND SINK	--
EQ-9	1	BAG-N-BOX CABINET	--
EQ-10	2	BLENDER	--
EQ-11	1	24" X 36" CABINET	--
EQ-12	1	VERTICAL CUP HOLDER	--
EQ-13	2	12" X 26" MARGARITA MIXER	FROSTY FACTORY, 12T
EQ-14	1	REAR WALL 16'-0"	BY LOAD KING
EQ-15	1	LEFT SIDE WALL 3'-4"	BY LOAD KING
EQ-16	1	LEFT SIDE LOW WALL 6'-7"	BY LOAD KING
EQ-17	1	RIGHT SIDE WALL 3'-4"	BY LOAD KING
EQ-18	1	RIGHT SIDE KNEE WALL 3'-7"	BY LOAD KING
EQ-19	1	SWING GATE	BY LOAD KING
EQ-20	1	FRONT KNEE WALL 12'-3"	BY LOAD KING
EQ-24	2	BAR GUN	BY LOAD KING

**WALL TYPE LEGEND:**

	EXISTING WALL CONSTRUCTION TO REMAIN
	NEW PRE-FABRICATED WALL PROVIDED BY LOAD KING
	NEW PRE-FABRICATED LOW WALL PROVIDED BY LOAD KING



**3 PROPOSED EQUIPMENT PLAN**  
SCALE: 1/4" = 1'-0"

ANY MODIFICATIONS TO EXISTING FIRE SPRINKLER SYSTEM SHALL BE UNDER SEPARATE PERMIT. SUBMITTED BY FIRE PROTECTION CONTRACTOR.

REGISTRATION SEAL  
**ARCVISION**  
 INCORPORATED  
 ARCHITECTURE • ENGINEERING • STORE PLANNING  
 SAINT LOUIS • DALLAS • LAS VEGAS • ORLANDO  
 1950 CRAIG ROAD, SUITE 300 ST. LOUIS, MO 63146  
 PH: (314) 415-2400 FAX: (314) 415-2400 www.arcv.com

**amc**  
 THEATRES®

PUENTE HILLS 20  
 1560 SOUTH AZUSA  
 ROWLAND HEIGHTS, CA 91748

REV.	DATE	DESCRIPTION

PROJECT NO: 130902  
 DRAWN BY: JMR  
 CHECKED BY: CAB  
 ISSUE DATE: 12/13/13  
**FLOOR PLANS / RCP / EQUIPMENT PLAN**  
**A-1**

# **Attachment 3**

## **Location Map**

**CUP 14-10**  
**1560 Azusa Ave.**  
**Location Map**





# **Attachment 4**

## **Notice of Exemption**

## NOTICE OF EXEMPTION

**To:** County Clerk  
County of Los Angeles  
Environmental Filings  
12400 East Imperial Highway #2001  
Norwalk, CA 90650

**From:** City of Industry  
15625 E. Stafford Street, Suite 100  
City of Industry, CA 91744

**Project Title:** Conditional Use Permit 14-10

**Project Location - Specific:** 1560 Azusa Avenue

**Project Location-City:** City of Industry      **Project Location-County:** Los Angeles

**Description of Project:** Conditional Use Permit 14-10 is to establish alcohol service inside the AMC Theater in the Puente Hills Mall.

**Name of Public Agency Approving Project:** Planning Commission, City of Industry

**Name of Person or Agency Carrying Out Project:** American Multi-Cinema (AMC) Inc.

**Exempt Status:** *(check one)*

- Ministerial (Sec. 21080 (b)(1); 15268);
- Declared Emergency (Sec. 21080 (b)(3); 15269(a));
- Emergency Project (Sec. 21080 (b)(4); 15269(b)(c));
- Categorical Exemption. *State type and section number:* 15301 Class 1
- Statutory Exemptions. *State code number:*

**Reasons why project is exempt:** Section 15301 Class 1, which exempts the operation, permitting, or minor alteration of existing facilities involving negligible or no expansion of the existing use. The proposal would involve an interior modification to add a bar area and the service of alcohol inside the existing theater.

**Lead Agency**

**Contact Person:** Brian James

Telephone: (626)333-2211

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Title: Planning Director

# **Attachment 5**

## **Public Hearing Notice**

## NOTICE OF PUBLIC HEARING

### Conditional Use Permit No. 14-10

On February 27, 2015, notice has been given that the Planning Commission of the City of Industry shall hold a public hearing on the application for Conditional Use Permit No. 14-10 to establish alcohol service inside the AMC Theater in the Puente Hills Mall located at 1560 Azusa Avenue in the City of Industry.

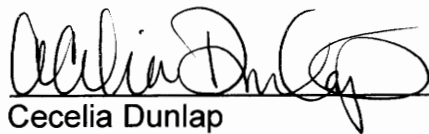
A copy of all relevant material, including the Conditional Use Permit Application, is on file in the City Administrative Offices, 15625 East Stafford Street, Suite 100, City of Industry, California 91744.

The time, date and place of such hearing shall be as follows:

Time:	8:00 a.m.
Date:	March 12, 2015
Place:	City Council Chamber 15651 East Stafford Street City of Industry, CA 91744

Any person wishing to be heard regarding this matter may appear at the above time, date and place.

If you challenge the conditional use permit in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Planning Commission of the City of Industry at, or prior to, the public hearing.



Cecelia Dunlap  
Deputy Clerk of the City of Industry

# **Attachment 6**

**Resolution No. PC 2015-01**

**RESOLUTION NO. PC 2015-01**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF INDUSTRY, CALIFORNIA, APPROVING CONDITIONAL USE PERMIT NO. 14-10 TO ALLOW THE SERVICE OF ALCOHOLIC BEVERAGES IN THE AMC THEATER IN THE PUENTE HILLS MALL, LOCATED AT 1560 SOUTH AZUSA AVENUE, WITHIN A “C” – COMMERCIAL ZONE, AND MAKING FINDINGS IN SUPPORT THEREOF.**

**WHEREAS**, American Multi-Cinema, Inc. (“AMC”), a California corporation, has filed an application for a Conditional Use Permit to operate an approximately 763 square foot bar area for the purpose of providing alcohol within its existing Puente Hills 20 Theater within the Puente Hills Mall shopping center (the “Application”), located at 1560 South Azusa Avenue, City of Industry, within a “C”-Commercial Zone (the “Site”) called MacGuffins

**WHEREAS**, the Application calls for a bar area and alcohol service located entirely within AMC’s existing operations, which bar area would offer a full line of alcoholic beverages, including beer, wine, and spirits consistent with a type 47 license from the California Department of Alcoholic Beverage Control (ABC); and,

**WHEREAS**, the use proposed in the Application is allowed subject to the issuance of a Conditional Use Permit in the “C”-Commercial Zone; and,

**WHEREAS**, the Site is more particularly shown on the map attached hereto as Exhibit “A” and incorporated herein by this reference; and,

**WHEREAS**, the activity proposed by the Application is exempt from compliance with the California Environmental Quality Act (“CEQA”) pursuant to CEQA Guidelines Section 15301 as a class 1 categorical exemption applicable to the operation, permitting, or minor alteration of existing facilities involving negligible or no expansion of the existing use; and,

**WHEREAS**, on March 12, 2015, the Planning Commission of the City of Industry conducted a duly noticed public hearing in connection with the Application and the categorical exemption and considered all evidence, oral and written; and,

**WHEREAS**, all legal prerequisites have occurred prior to the adoption of this Resolution.

**RESOLUTION NO. PC 2015-01**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF INDUSTRY, CALIFORNIA, APPROVING CONDITIONAL USE PERMIT NO. 14-10 TO ALLOW THE SERVICE OF ALCOHOLIC BEVERAGES IN THE AMC THEATER IN THE PUENTE HILLS MALL, LOCATED AT 1560 SOUTH AZUSA AVENUE, WITHIN A “C” – COMMERCIAL ZONE, AND MAKING FINDINGS IN SUPPORT THEREOF.**

**WHEREAS**, American Multi-Cinema, Inc. (“AMC”), a California corporation, has filed an application for a Conditional Use Permit to operate an approximately 763 square foot bar area for the purpose of providing alcohol within its existing Puente Hills 20 Theater within the Puente Hills Mall shopping center (the “Application”), located at 1560 South Azusa Avenue, City of Industry, within a “C”-Commercial Zone (the “Site”) called MacGuffins

**WHEREAS**, the Application calls for a bar area and alcohol service located entirely within AMC’s existing operations, which bar area would offer a full line of alcoholic beverages, including beer, wine, and spirits consistent with a type 47 license from the California Department of Alcoholic Beverage Control (ABC); and,

**WHEREAS**, the use proposed in the Application is allowed subject to the issuance of a Conditional Use Permit in the “C”-Commercial Zone; and,

**WHEREAS**, the Site is more particularly shown on the map attached hereto as Exhibit “A” and incorporated herein by this reference; and,

**WHEREAS**, the activity proposed by the Application is exempt from compliance with the California Environmental Quality Act (“CEQA”) pursuant to CEQA Guidelines Section 15301 as a class 1 categorical exemption applicable to the operation, permitting, or minor alteration of existing facilities involving negligible or no expansion of the existing use; and,

**WHEREAS**, on March 12, 2015, the Planning Commission of the City of Industry conducted a duly noticed public hearing in connection with the Application and the categorical exemption and considered all evidence, oral and written; and,

**WHEREAS**, all legal prerequisites have occurred prior to the adoption of this Resolution.

**NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF INDUSTRY DOES RESOLVE, DETERMINE, FIND, AND ORDER AS FOLLOWS:**

**SECTION 1.** The Planning Commission hereby finds that the above recitations are true and correct and, accordingly, are incorporated as a material part of this Resolution.

**SECTION 2.** Based upon the environmental information form supplied by AMC as part of the Application, the Planning Commission exercises its independent judgment and finds that the proposed project is exempt from compliance with CEQA pursuant to CEQA Guidelines Section 15301 as a class 1 categorical exemption.

**SECTION 3.** Pursuant to the requirements of the Industry Municipal Code, Section 17.48.050, the Planning Commission hereby finds, based upon the substantial evidence contained in the record, including the written and oral staff reports presented to the Planning Commission with respect to the Application, as well as all other written and oral testimony submitted at the March 12, 2015, public hearing, as follows:

A. The proposed use is consistent with the goals and objectives of the General Plan as it is an approximately 763 square foot bar area inside AMC's existing Puente Hills 20 Theater, that will be compatible with, and complimentary to, the existing use of the theater as well as other commercial uses in the commercial center where located because AMC has committed to a set of operational and management standards that provide protection from the abuse of alcohol, which standards are included as conditions of approval for this Resolution; and

B. The Site is within an "C"-Commercial Zone, which zone permits, with the issuance of a conditional use permit, both a movie theater and alcohol service in connection with certain uses; the project description as provided in the Application and the proposed operational and management standards agreed to by AMC will cause the alcohol service in the existing theater to be substantially similar to alcohol service in connection with those uses explicitly allowed by the "C"-Commercial Zone (Industry Municipal Code, Section 17.12.025, sub-sections 1, 13 and 14) and, thus, the site is appropriately zoned for the proposed use; and,

C. The Site is located in an existing commercial center which has been developed with adequate parking and will be constructed to all applicable development standards. Accordingly, the Site is adequate in size, shape, topography and location for the proposed use and there will be adequate utilities to accommodate the proposed use; and,



D. There will be adequate street access, traffic circulation, and parking capacity for the proposed use; and,

E. The proposed use is compatible with the surrounding properties and uses, taking into account the potential for changes in the uses of surrounding properties; and,

F. The proposed use will not be detrimental to the public health, safety or general welfare.

**SECTION 4.** The Planning Commission hereby approves the Application subject to the conditions and standard code requirements set forth in Exhibit "B" attached hereto and incorporated herein by this reference and in accordance with the plans submitted in conjunction with the Application.

**SECTION 5.** The Secretary of the Planning Commission is directed to certify to the adoption of this Resolution.

**APPROVED** by the Planning Commission of the City of Industry at a regular meeting held on March 12, 2015.

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Manuel Perez  
Chairman

**ATTEST:**

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Cecelia Dunlap  
Secretary

**STATE OF CALIFORNIA            )**  
**COUNTY OF LOS ANGELES        ) ss.**  
**CITY OF INDUSTRY                )**        **PLANNING COMMISSION  
SECRETARY'S CERTIFICATION  
RE: ADOPTION OF PLANNING  
COMMISSION RESOLUTION**

I, Cecelia Dunlap, Secretary of the City of Industry Planning Commission, do HEREBY CERTIFY that the foregoing Resolution No. PC 2015-01 was duly passed and adopted at a regular meeting of the Planning Commission of the City of Industry held on the 12<sup>th</sup> day of March, 2015 by the following vote to wit:

AYES:                               COMMISSIONERS: \_\_\_\_\_

NOES:                               COMMISSIONERS: \_\_\_\_\_

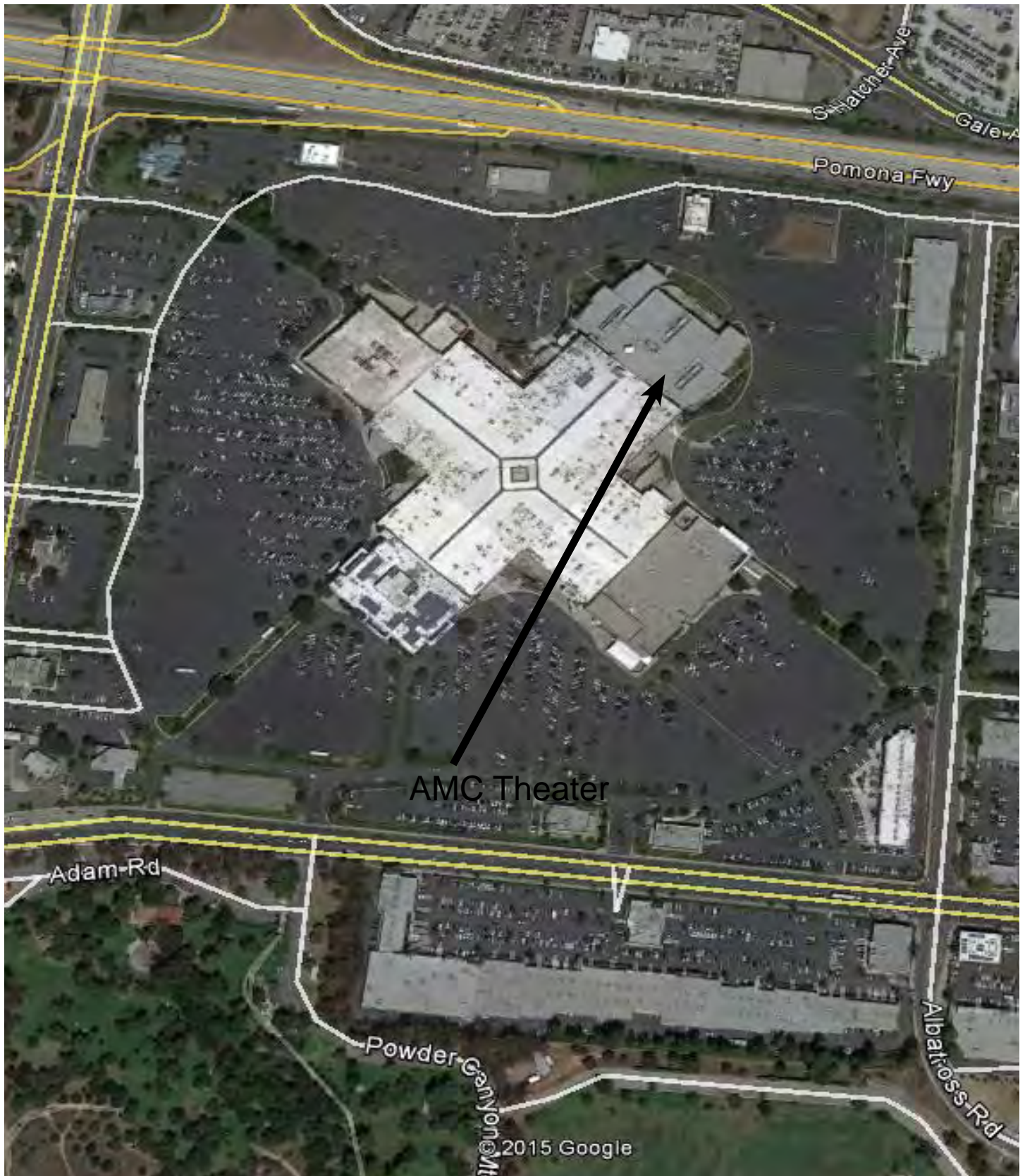
ABSENT:                            COMMISSIONERS: \_\_\_\_\_

ABSTAINED:                       COMMISSIONERS: \_\_\_\_\_

\_\_\_\_\_  
Cecelia Dunlap, Secretary  
Planning Commission  
City of Industry, California

(SEAL)

**EXHIBIT A**  
**CUP 14-10**  
**1560 Azusa Ave.**





# CITY OF INDUSTRY

P.O. Box 3366 • 15625 E. Stafford St. • City of Industry, CA 91744-0366 • (626) 333-2211 • FAX (626) 961-6795

## EXHIBIT B

### Standard Requirements and Conditions of Approval

**Application:** Conditional Use Permit 14-10 – AMC Theater

**Applicant:** AMC Entertainment Inc.

**Location:** 1560 Azusa Avenue

### Conditions of Approval

*Conditions of approval are unique provisions, beyond the requirements of law, the municipal code, or standard practices that are applied to a project by the Planning Commission per Section 17.48.060 of the Zoning Code. Please note that if the design of your project or site conditions change, the conditions of approval may also change. If you have any questions regarding these requirements, please contact the City of Industry.*

1. Attachment A, AMC Alcohol Service Operations and Management Plan, is incorporated by reference and shall act as the enforceable conditions of approval for the service of alcohol at AMC Puente Hills. Violation of any of the actions listed in Attachment A, AMC Alcohol Service Operations and Management Plan, may be grounds for revocation of Conditional Use Permit 14-10.
2. MacGuffins shall not open for business or serve alcohol without prior written approval from the Planning Director. Prior to the opening/operation of MacGuffins and alcohol service, AMC Puente Hills shall notify the Planning Director who will inspect the site for compliance with the conditions of approval.
3. Conditional Use Permit 14-10 shall be renewed annually for a period of three years commencing from the initial date of operation of MacGuffins and service of alcohol. Thereafter, if there are not increased law enforcement activities at or attributed to AMC Hills Puente Hills, as determined by the Los Angeles County Sheriff's Department, and AMC Puente Hills has complied with the conditions of approval, the requirement for an annual renewal shall sunset. As part of the annual CUP renewal, the applicant shall provide an updated copy of the site specific risk assessment and security plan to the Planning Director.
  - a. The annual CUP review of Conditional Use Permit 14-10 shall be conducted by City Staff to verify compliance with all conditions of approval, applicable Chapters of the Municipal Code, and law enforcement activity occurring at or attributed to AMC Puente Hills. A report of the Staff's review shall be forwarded to the Planning Commission for review at a noticed public hearing.
4. After the sunset of the requirement for an annual renewal of the CUP, the Planning Director or Sheriff's Department may request an updated copy of the site specific risk assessment and

security plan at any time. Any concerns that may arise from review of the site specific risk assessment and security plan will be communicated with AMC Puente Hills with the aim of rectifying the concerns. If the concerns violate the approved conditions of approval and are not addressed to the satisfaction of the Planning Director and Sherriff's Department, the City may seek revocation of Conditional Use Permit 14-10.

5. Prior to the opening/operation of MacGuffins and alcohol service, security cameras that are connected to the PSO system and allow law-enforcement real-time access to the surveillance feeds will be installed to provide coverage inside the theater lobby and of MacGuffins.
6. At any time, if there incidents of increased law enforcement activities at or attributed to AMC Puente Hills, as determined by the Los Angeles County Sheriff's Department, the Sheriff's Department may recommend actions to correct the situation, such as increased uniformed security personnel, expanded hours of security personnel, limitations of the hours of alcohol service, as well as measures provided by AMC staff and approved by the Sheriff's Department. The Planning Direct may then direct that these measures be implemented to address the security concerns. If these measures or other measures fail to correct the situation or AMC fails to effectively enact corrective measures, the City may seek revocation of Conditional Use Permit 14-10.
7. Conditional Use Permit 14-10 is directly tied to the operation and management of AMC Puente Hills by American Multi-Cinema (AMC) Inc. as described in Attachment A. The transfer of the ABC license or change in ownership of the theater shall necessitate a revised CUP prior to continued alcohol service to ensure that all conditions of approval are maintained. Prior to the transfer of the ABC license or change in ownership of the theater, an application to revise Conditional Use Permit 14-10 shall be approved by the Planning Commission.
8. No changes to the approved floor plan may be permitted without prior written permission from the City of Industry in consultation with the Los Angeles County Sheriff's Department.

### **Code Requirements and Standards**

*The following is a list of code requirements and standards deemed applicable to the proposed project. The list is intended to assist the applicant by identifying requirements that must be satisfied during the various stages of project permitting, implementation, and operation. It should be noted that this list is in addition to any "conditions of approval" adopted by the Planning Commission and noted above. Please note that if the design of your project or site conditions change, the list may also change. If you have any questions regarding these requirements, please contact the City of Industry.*

1. The entire premise is subject to inspection by the Los Angeles County Sheriff's Department and/or City representative at any reasonable time without prior notification.
2. Off-street parking shall be provided at all times in accordance with the originally approved site plan and shall be maintained in a clean and attractive manner (trash, litter, or other materials shall be removed regularly).
3. All landscaped areas shall be maintained in accordance with the originally approved landscaped plan and in a healthy and well-kept condition and kept weed free.
4. All trash containers shall be kept inside a building or in a designated trash enclosure.

5. Emergency fire facilities (hydrants) shall be kept free and unobstructed at all times.
6. No outside storage of any personal property, building materials, or other property not permanently affixed to the real property shall be allowed, unless approved by the Planning Director.
7. No outside display of goods, wares, or merchandise shall be permitted, unless approved by the Planning Director.
8. Any graffiti painted or marked upon the premises or any adjacent area under the control of the permittee shall be removed or painted over within 72 hours of being applied.
9. There shall be no adult entertainment, male or female performers or fashion shows permitted on the premises at any time.
10. No X-rated or adult films shall be maintained or shown anywhere on the premises.
11. No dancing or live entertainment by employees or customers will be permitted at any time.
12. No employee or agent shall be permitted to accept money or any other thing of value from a customer for the purpose of sitting or otherwise spending time with customers while in the premises, nor shall the permittee provide or permit, or make available either gratuitous or for compensation, male or female persons who act as escorts, companions, or guests of and for the customers.
13. No non-prescription drugs or drug paraphernalia shall be on the premises at any time.
14. All signs, banners, pennants, flags or other outside advertising materials or structures must be approved by the City.
15. Permittee will be held responsible for acquainting all employees with these rules and all local, county, state, or federal laws.
16. The noise level created by the business shall not exceed the following at the property line of any adjacent or nearby residential land use, hospital, school in session, church or public library as measured by a sound level meter:
  - (a) 55 dBA between 7:00 a.m. - 10:00 p.m.  
50 dBA between 10:00 p.m. - 7:00 a.m.  
for a cumulative period of more than 30 minutes in any hour;
  - (b) 60 dBA between 7:00 a.m. - 10:00 p.m.  
55 dBA between 10:00 p.m. - 7:00 a.m.  
for a cumulative period of more than 15 minutes in any hour;
  - (c) 65 dBA between 7:00 a.m. - 10:00 p.m.  
60 dBA between 10:00 p.m. - 7:00 a.m.  
for a cumulative period of more than 5 minutes in any hour;
  - (d) 70 dBA between 7:00 a.m. - 10:00 p.m.  
65 dBA between 10:00 p.m. - 7:00 a.m.  
at any time.

17. Any violation of these conditions or any local, county, state or federal laws shall constitute grounds for revocation or suspension of the Conditional Use Permit.
18. No outside cooking, food preparation, or sales of product or merchandise, unless approved in advance by the Planning Director.

### **Interpretation and Enforcement**

1. The Planning Department, Engineering Department, and contract agencies (Los Angeles County Fire Department, Los Angeles Department of Building and Safety) shall be responsible for ensuring compliance with all applicable code requirements and conditions of approval.
2. The Planning Director may interpret the implementation of each condition of approval and, with advanced notice, grant minor amendments to approved plans and/or conditions of approval based on changed circumstances, new information, and/or relevant factors as long as the spirit and intent of the approved condition of approval is satisfied. Permits shall not be issued until the proposed minor amendment has been reviewed and approved for conformance with the intent of the approved condition of approval. If the proposed changes are substantial in nature, an amendment to the original entitlement may be required pursuant to the provisions of Industry Municipal Code.

# ATTACHMENT A



**EXHIBIT A**  
**of Conditions of Approval**

**AMC Alcohol Service Operations and Management Plan**

AMC Puente Hills 20 Theatre

The service of alcoholic beverages at the AMC Puente Hills 20 Theatre (the “Theatre”) will adhere to the policies outlined in this document and Exhibit C, the approved conditions of approval which, in the event of a conflict, shall prevail. Together, this document and the conditions of approval will ensure compliance with all local and state regulations and provide an overall safe experience. The General Manager is ultimately responsible for ensuring all Theatre associates are aware of applicable regulations and overseeing their enforcement.

Any person who violates the policies listed on the following pages will be appropriately disciplined. Violations also include assisting someone else in inappropriate conduct, failing to report any violation, and impeding an investigation. Possible disciplinary action may range from a verbal warning, up to and including termination. A person guilty of violating these policies may also be responsible in a criminal or civil suit for losses or other damages caused by his/her conduct. In addition, referral of the matter may be made to the appropriate government agencies.

**CONCEPT – MACGUFFINS**

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All alcohol sales will take place at MacGuffins, AMC’s designated alcohol sales concession area. All non-alcoholic beverages may be purchased at the currently existing concessions area, and no non-alcoholic drinks may be purchased at MacGuffins. After an alcoholic beverage is purchased at MacGuffins, adult patrons may enjoy that beverage in any of the Theatre’s auditoriums, all of which are subject to continuous monitoring by AMC staff. MacGuffins shall be maintained as shown on the approved floor plans, included herein as Exhibit D, or as subsequently revised and approved by the City of Industry. As described herein and shown on Exhibit D, MacGuffins shall be located behind the ticket-taking area, thus requiring the purchase of a movie ticket to access MacGuffins.

Alcohol sales at MacGuffins will be pursuant to a Type 47 On-Sale General Eating Place alcohol license issued by the California Department of Alcoholic Beverage Control. AMC proposes to sell a full line of alcoholic beverages, including beer, wine, and spirits, consistent with the Type 47 License.

**BACKGROUND CHECKS**

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Because of the additional responsibilities that accompany maintaining a liquor license, AMC conducts background checks on all bartenders, supervisors, and managers assigned to locations with alcohol operations.

**ALCOHOL SALES**

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The guidelines below must be adhered to when serving alcoholic beverages to guests.

## Age Verification

The minimum legal age for purchasing and consuming alcoholic beverages in the United States is 21 years. **Associates must require positive proof of age from all guests purchasing alcohol regardless of age.**

In most states, valid IDs may be driver's licenses, state IDs, military and active military IDs, passport cards, or visas. However, any local exceptions to these standards must be adhered to. A booklet containing examples, descriptions, and the security features of valid IDs from the United States called *ID Checking Guide* may be obtained by ordering from [www.idcheckingguide.com](http://www.idcheckingguide.com) or by calling (800) 227-8827. Since this booklet is updated annually, a subscription can be ordered at a savings.

When checking a government-issued ID, inspect the following information:

- Photograph of bearer
- Signature
- Height
- Date of Birth
- Expiration Date
- Watermark

### *Electronic Age Verification – ID Scanners*

All employees selling alcoholic beverages must electronically verify age before selling alcoholic beverage(s) to anyone who reasonably appears to be 35 years of age or younger.

AMC management must be able to read, print, or download the data in the ID scanners and have the knowledge and capability to produce the data upon request of a peace officer or authorized representative of the Department of ABC.

Any electronic age verification device must contain the technology to read a magnetic stripe and a two dimensional stack symbology (bar code), or an alternate technology capable of electronically verifying the proof of age, and must be capable of reading a valid state issued driver's license, a valid state issued identification card, a valid military identification card, or a valid passport.

Any electronic age verification device must have a screen that displays no more than a person's name, age, ID number, birth date, gender, ID status, and expiration date, and shall have the capability of electronically storing the name, age, ID number, birth date, gender, ID status and expiration date for one day (24 hours) including the time and date the proof of age was scanned.

If the proof of age cannot be scanned electronically, an alternative method of verifying an individual's proof of age shall include a record or log showing the type, number, and expiration date of the ID, the date the ID was presented, and the individual's name and date of birth.

Any data collected either electronically or otherwise may only be used for the purpose of verifying an individual's proof of age and may not be retained by AMC in a database for mailing, advertising, or promotional activity, to acquire personal information or to make inappropriate personal contact with the individual, and shall be retained until close of business on the day it was obtained, after which it must be deleted. The data collected may be acquired by law enforcement, or other investigative agencies.

### *Fake Identification*

If an associate believes an ID is fake, the following steps must be taken:

- Alert a manager – The manager must complete a review of the ID using the F.L.A.G. technique. F.L.A.G. stands for Feel, Look, Ask and Give Back.
- Notify Security if the ID appears to be fake.
- If Security is not present, return the card to the guest, unless local law requires a different procedure. Theatre staff should reference F-142, *Theatre Specific Alcohol Laws and Regulations* for specific laws and regulations.
- Do not serve the guest.

### Exceptions to Age Verification Policy (Limited Use)

When a guest requests an exception to AMC's age verification policy, the highest ranking manager in the building can review the request. However, **at no time** should any associate communicate to the guest that AMC may make exceptions to the age verification policies.

The highest ranking manager must complete the following actions prior to giving approval:

- Visual Check (**required**) – Manager must be present to determine if the guest looks over the age of 40. If the guest looks younger than 40, no exceptions should be made to the age verification policy, and valid ID for proof of age is required.
- Limit Order Quantity – Guests can only purchase one beverage per order if an exception is made.
- Documentation – If applicable, denote the exception on the *Alcohol Compliance Monitoring Worksheet*.
- Verify that it is legal to serve a guest without identification at the Theatre. Refer to F-142, *Theatre Specific Alcohol Laws and Regulations* for local exceptions.

In the event that the associate did not follow the outlined procedures, disciplinary action up to and including termination may occur.

**Note:** Supervisors or film crew may never make this exception. Only the highest-ranking manager may do so.

#### Quantity of Alcoholic Beverages Purchased

Alcohol sales limits are subject to the maximum imposed by local or state jurisdictions. An associate must NEVER serve more alcoholic beverages than the approved limit. Any employee found to be violating any of AMC's rules, including the approved number of drinks per person, will be subject to disciplinary action up to and including termination.

Pursuant to the California Department of Alcoholic Beverage Control Standard Condition Number 5, "[n]o more than two (2) alcoholic beverages shall be sold or served to any one (1) person during any transaction." Thus, no more than two alcoholic beverages may be served to any one person during any transaction at any theatre in California.

No person shall be served more than three (3) alcoholic beverages within a two (2) hour period (the duration of a typical movie).

#### Building Restrictions and Container Requirements

Alcoholic beverages must always be served in AMC-approved alcohol-specific containers and may never be poured into "traditional" fountain beverage vessels. AMC uses distinctive plastic cups for all alcoholic beverages, as shown on the attached image (Exhibit A).

All alcoholic beverages are served with a black straw, while non-alcoholic beverages are served with a red straw.

Finally, cups for beer and cocktails are a standard 16-ounce size, while cups for wine are 10 ounces.

Alcoholic beverages may only be purchased by ticketed guests and MacGuffins will be located behind the Theatre's ticket-taking stand.

### OPERATING HOURS AND ALCOHOL CUT-OFF REQUIREMENTS

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AMC will sell alcohol during the following hours, subject to any regulations that limit the sale of alcohol to certain times:

**Monday – Sunday:** 10:30 A.M. to **1:30** A.M. PC approved revision to hours 3/12/15

- **Operating Hours:** MacGuffins' operating hours should be part of the weekly business planning to ensure the most return and compliance with applicable law.

## **SIGNAGE**

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AMC requires the following signage:

- **ID Policy – Guest Facing:** Place signage at the counter and POS to notify guests of AMC’s policy to check the ID of all guests purchasing alcohol.
- **Age Check – Associate Facing:** Place age check signage on POS to help associates quickly identify whether a guest is 21 years of age or older.
- **Weapons Free:** Ensure that appropriate *No Weapons* door clings are displayed per SEC-40, *Weapons-Free Guidelines*.

## **ALCOHOL INVENTORY**

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All beer, wine, and liquor must be delivered by a vendor, and at no time is it allowable for a Theatre associate to go off-site to acquire it. All liquor, beer, and wine inventory must be kept in a secure location that is only accessible by managers and supervisors who are 21 years of age or older. When stocking the bar, we use a “Bottle-for-Bottle Exchange” system, in which a bottle does not leave the closet without an empty one in its place. Immediately following the close of the building, a manager must verify that all alcohol is secure.

## **ALCOHOL COMPLIANCE MONITORING**

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Whenever MacGuffins is open, a manager must oversee operations as part of managing the floor to ensure quality of service and alcohol compliance by observing the flow of guests and bartender execution. Management must also be available to investigate anything unusual reported by bartenders, other associates, or guests.

All associates who serve, sell, or handle alcohol and those who monitor for compliance, play a vital role in enforcing alcohol policies. Compliance monitoring occurs throughout the building by all associates using the procedures and guidelines provided by Training for Intervention Procedures (“TIPS”), a leader in education and training for the responsible service, sale, and consumption of alcohol. All associates will be TIPS certified, regardless of whether they staff MacGuffins or not. Upon hire, all sales employees are required to sign a form acknowledging that failure to follow AMC’s rules, policies, and procedures provided in the alcohol control plan will lead to immediate disciplinary action, up to and including termination.

All associates, including non-MacGuffins staff, are required to check ID for any guests consuming alcohol who appear to be under the legal drinking age of 21 in areas outside and inside the auditoriums. Pursuant to the California Department of Alcoholic Beverage Control Standard Conditions and AMC policies, at all times when the Theatre is exercising the privilege of its license, an employee must enter and monitor the activity within the theatres at least once every 30 minutes.

Associates who perform auditorium checks for presentation quality and comfort also monitor for alcohol compliance. Proper planning is essential and, depending on film bookings and expected audience draw, it may be necessary to increase frequency of auditorium checks for specific films. Assignment of duties to specific associates should be noted on the Daily Game Plan.

Monitoring for alcohol compliance includes these responsibilities:

- Ensure guest compliance with alcohol enforcement policies.
- Monitor and prevent alcohol consumption by minors.
- Ensure guests do not leave the premises with alcoholic beverages.

## **UNDERAGE DRINKING**

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Individuals under 21 years of age may not purchase nor consume alcoholic beverages on AMC property. In the event that an underage guest is caught with an alcoholic beverage, a manager must be notified immediately.

The following steps must be taken to ensure the issue is addressed correctly:

1. Remove the guest from the auditorium.
2. Verify the guest's age.

If the guest is determined to be underage:

3. Take the drink from the guest.
4. Notify law enforcement.
5. If the guest is under the age of 18, contact a parent or legal guardian.
6. Complete the Alcohol Compliance Monitoring Worksheet and submit an Incident Report.

<p><b>If it is determined that an associate failed to ask for proof of age or allowed a guest under 21 years of age to purchase and/or to consume an alcoholic beverage, due to AMC's zero tolerance policy that associate will be terminated.</b></p>
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## **INTOXICATED GUESTS**

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In the event that an associate encounters a guest that appears intoxicated, a manager must be notified immediately. The following steps must be taken to ensure we address the issue correctly:

1. Remove the guest from the auditorium.
2. Ask the guest to not leave the building.
3. Ask the guest to sit down, then provide water or food to the guest. This is designed to diffuse the situation as well as provide time for making alternative arrangements to get the guest home. This is not a tactic to help the guest “sober” up before driving home.
4. Make alternate arrangements for the guest to get home.
5. If the guest does not follow your instructions, monitor the guest’s location.
6. Notify law enforcement if you are unable to keep the guest from leaving.
7. Complete the Alcohol Compliance Monitoring Worksheet and submit an Incident Report.

## **UNDERCOVER ALCOHOL COMPLIANCE CHECKS**

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At any time, the Theatre may receive undercover compliance checks. Theatre teams should be prepared by always adhering to all AMC policies and local regulations.

### **Government Agencies**

Alcohol compliance checks are investigations into the purchase of alcohol by minors at businesses that sell alcohol. If the Theatre receives an undercover alcohol compliance check by a government agency, Theatre staff should e-mail 0411-MacGuffins and 0411-Inspections regardless of pass or fail. Staff must also follow the notification instructions outlined in OPS-90a, Government Inspections Notifications.

The sting operations will involve a minor, under the age of 21 years, (with undercover officers nearby) attempting to buy an alcoholic beverage from an associate. In some states, there is no legal standard that requires the minor to be truthful about their age and the minor may not present any identification.

If the associate sells alcohol to a minor, the following actions may occur:

- Fines (associate, business, etc.)
- Arrest (associate)
- Conviction (misdemeanor)
- Civil penalties
- Additional sting operations (multiple offenses)
- Loss of liquor license (multiple offenses)

**If it is determined that an associate failed to ask for proof of age or allowed a guest under 21 years of age to purchase and/or to consume an alcoholic beverage, due to AMC’s zero tolerance policy that associate will be terminated.**

## AMC Mystery Shop

As part of AMC's Mystery Shop program, there is a unique shop that is specific to locations that serve alcohol. Theatres will receive one alcohol mystery shop every month. This is an internal check to ensure compliance with local, state, and federal laws regarding alcohol enforcement. These shops are graded on a pass/fail system. Theatres that fail may receive additional checks.

## **ASSOCIATE AGE POLICIES**

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**Age to Manage:** All managers assigned to a location that sells alcohol must be 21 years of age or older.

**Age to Supervise:** Supervisors must be at least 18 years of age or older. However, if a Supervisor is under 21, he or she may not be involved in any aspect of bar operations. Supervisors under 21 may not have access to secured alcohol storage areas, accept deliveries, transport alcohol, assist with inventory process, or even step behind the bar to conduct a cash-pull.

**Age to Transport & Access:** All associates that may receive alcohol deliveries, have access to alcohol storage areas, or help with the inventory of alcohol must be 21 years of age or older.

**Age to Bartend:** Associates must be at least 21 years of age or older to bartend.

**Age to Clean Auditoriums:** Associates must be 18 years of age or older to pick up open containers of alcohol while cleaning an auditorium.

Open containers are defined as any vessel used to consume alcoholic beverages that contains any amount of alcohol or once contained alcohol. For example, an empty wine cup is considered an open container and may not be disposed of by an associate under the age of 18. If associates on duty are not old enough to pick up opened containers of alcohol, they must request assistance from a manager or supervisor.

## **ALCOHOL AWARENESS TRAINING**

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All associates play a vital role in enforcing alcohol policies and all associates are involved in compliance monitoring throughout the building to prevent underage drinking. Therefore, associates assigned to the Theatre must complete TIPS for On-Premises training within 30 days of hire. Exceptions are made for back-of-house associates who never have contact with guests, such as dishwashers and cooks. For bartenders/servers, or anyone serving alcoholic beverages, TIPS for On-Premises training must be completed prior to any service of alcohol.

TIPS offers both online and classroom training. If training is conducted online, participants will receive results immediately. Participants in TIPS classroom training should receive test results



within 4-6 weeks of the class. In either case, a copy of certification materials (card, certificate, etc.) must be maintained in each associate's file.

AMC will provide verification of TIPS training to City of Industry staff by keeping a binder with all TIPS Certifications for all employees at the Theatre. The binder will be available for review at all times.

## **STAFFING LEVELS**

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### MacGuffins

- Peak Shifts: 4 bartenders.
- Off-Peak Shifts: 1 bartender.

### Theatre (Including MacGuffins)

- Peak Shifts: 25-30 management and associates.
- Off-Peak Shifts: 10-15 management and associates.

## **FOOD SERVICE**

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MacGuffins will not sell food. However, at all times alcoholic beverages are available at MacGuffins, a wide variety of hot and cold food items, including chicken tenders and chicken sliders, French fries, pizza, and mozzarella sticks, will be available for sale at the Theatre's concession area. An example AMC Theatres Food & Beverage menu is attached as Exhibit B.

## **SECURITY – PERSONNEL POLICIES AND PROCEDURES**

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Management, including the Home Office Security Operations Department, makes the decisions regarding security issues and security personnel enforce these decisions. At theaters that use security personnel, the GM and the Home Office Security Operations Department are responsible for ensuring the theatre has reasonable and adequate security personnel employed—either off/paid duty law enforcement officers or private security personnel, depending on the location. The Home Office Security Operations Department determines what type of security personnel should be employed at the Theatre.

### Security Staffing and Hours

The Security Operations Department will provide a security schedule to serve as a baseline model for the Theatre. AMC realizes that no security plan can eliminate random violent acts; however, this baseline of security provides the proper allocation of resources, as needed, in the hopes of reducing the likelihood of a crime being committed.

Theatre management may not reduce security coverage below this model without first contacting the Home Office Security Operations Department. Theatre managers can temporarily increase

security coverage due to known or foreseeable factors such as high risk movies, crime trends etc.; however, any long term schedule changes must still be approved by Security Operations.

The lead officer or supervisor will coordinate with AMC management and the Security Operations Department to determine scheduling for personnel to work, and handle any administrative duties that may arise.

To ensure a safe experience for all patrons, the Theatre will have a uniformed, state-licensed security guard working in accordance with the Site Specific Risk Assessment and Security Plan submitted to the Sheriff's Department, no less than the following schedule:

- Friday – Saturday: 1 security officer from 6:00 P.M. to 3:00 A.M.

With respect to state licensing, the liaison from the Los Angeles County Sheriff's Department – Industry Sheriff Station, or his designee, shall be provided proof that the security guards to be employed at the AMC are state licensed prior to deployment at the Theatre. Assigned guards shall retain their state certification card ("guard card") on their person and produce it for immediate inspection by any law enforcement official with jurisdiction over the premises.

Mall security is not an acceptable substitute for, and may not be used in place of, AMC's obligation to provide security as specified above.

For any special events or screenings at the Theatre, where expected patron attendance equals or exceeds an average Friday or Saturday night attendance, AMC shall provide a security guard during said event(s), unless the service of alcoholic beverages is suspended (closed).

The liaison from the Los Angeles County Sheriff's Department – Industry Sheriff Station, or his designee, shall be provided contact information for the supervisor(s) overseeing the deployment of any guard.

### Roles and Responsibilities

Security personnel work at the direction of the senior AMC manager on duty at the facility. Their role is to assist with ensuring the safety of our guests and associates. Security personnel may perform security duties only. They may not perform operational functions such as presentation checks, handling guest complaints, or tearing tickets.

Below are some of their key responsibilities:

- **Positioning and Coverage in Theatre:** While on duty, security personnel should stay highly visible by patrolling the theatre and parking lots (where applicable). When multiple security personnel are working, one should be positioned between the main box office and the auditorium entrances, while the other patrols the theatre and parking lots (where applicable).

Security personnel should not double up at static locations unless on a call or directed to do so by management. Security personnel should remain in public view at all times, unless on break.

- **Communication and Response Time:** Whenever possible, security personnel should be assigned two-way radios for communication.

Security personnel should be attentive to the radio or communications device used by the theatre and respond immediately when called. Radio communications should not contain sensitive details and should remain professional and courteous.

- **Guest Interactions:** Security personnel should always be friendly and courteous to our guests and associates. Security personnel should always be helpful if a guest asks for direction or assistance.

When managers are assisting disappointed guests, security should assume a position close to the situation, always monitoring the interaction in case the situation escalates (if possible, security should remain out of the guest's view).

Security personnel should allow management the opportunity to resolve the issue without assistance, except in cases when assistance is requested or someone appears to pose an immediate threat.

- **Cash Pulls:** Security personnel should stand nearby when cash is pulled from workstations. A pneumatic tube system should always be used to transport money. If unavailable, security personnel must accompany the manager/Supervisor when the cash is transported across public areas.
- **Closing:** The last member of security to close must accompany the closing usher on a walk of the building to verify that all guests have exited and ensure that the facility is secure. (Special attention should be given to all doors, restroom stalls, and behind screens.)

If security personnel are scheduled to close, they must remain at the theatre until all cash pulls have been made and all guests have exited the theatre. Under normal circumstances security must escort the last associates (management and crew members) out of the building to their cars.

### Legal Standards

Law enforcement officers must obey all federal, state, and municipal laws and work within the guidelines and/or general orders of their respective department while employed for AMC.

Security personnel must be licensed in the state in which they work and carry their license/identification.



# EXHIBIT B



AMC Theatres



## AMC Theatres Food & Beverage Menu





AMC Theatres

## Hot Foods & Meal Replacements

### Mozzarella Sticks:

A meal-sized portion of crispy, melty cheese sticks. Served with a side of marinara.

### French Fries:

A generous half-pound portion of our seasoned curly fries.

### Jalapeno Poppers:

Jalapeno peppers stuffed with bubbly cream cheese offer more flavor than heat.





AMC Theatres

## Hot Foods & Meal Replacements

### Chicken Tenders:

100% white meat tenders served with your choice of ranch, BBQ, or honey mustard sauce.

### Chicken Sliders & Fries Meal:

Two sliders alongside an order of our seasoned fries.





AMC Theatres

## Hot Foods & Meal Replacements

### Hot Dog:

A juicy all-beef hot dog served inside a delicious split bun.







AMC Theatres

## Hot Foods & Meal Replacements



### Pizzas

#### Cheese:

A traditional crust with cheese blend and seasoning.

#### Pepperoni:

Our cheese pizza with the addition of spicy pepperoni.

#### BBQ Chicken:

Featuring white meat chicken, BBQ sauce, & red onion.



AMC Theatres

## Traditional Movie Fare

### Popcorn:

Orville Redenbacher seed is popped in 100% pure coconut oil for an authentic movie theatre taste. Popped fresh every day to ensure freshness and quality.



### Candy:

A variety of prepackaged candies are available from nationally recognized brands including Nestle, M&M Mars, and Hershey.





AMC Theatres

## Traditional Movie Fare



### MovieNachos:

Crunchy Tostitos corn chips served alongside FUNacho zesty cheese sauce.



### Gourmet Pretzel:

A freshly-steamed pretzel topped with salt, garlic parmesan blend, or cinnamon sugar.



### Ice Cream:

A variety of Edy's / Dreyer's ice cream novelties including Dibs, Haagen Dazs, and Nestle varieties.



AMC Theatres

## Multiple Beverage Options

**Coca Cola Fountain Drinks:**  
Multiple Coke flavors available in 30oz, 44oz, or 51oz cups.



**Bottled Drinks:**  
A variety of bottled beverages including water, teas, and sports beverages.



**ICEE:**  
This delicious Frozen Carbonated Beverage (FCB) is available in 30oz and 44oz servings.



# SPECIALTY DRINKS



## Caribbean Cooler

Bacardi and Malibu Rums, Blue Curaçao, Pineapple juice and Orange juice.

## Oreo Mudslide

Absolut Vodka blended with Vanilla Ice Cream and Oreo Cookie pieces, and drizzled with Kamora and Ryan's Irish Cream.

## Southern Slam

Southern Comfort, Amaretto, Sour Apple Pucker and Orange juice.

## Irish Coffee

Irish Whiskey, Cream and Sugar with Coffee.

## Mojito

Bacardi White Rum, Lime juice, Soda, Sugar Syrup and a hint of Mint.

## Golden Margarita

Cuervo Gold Tequila, Grand Marnier, Rose's Lime Juice and Sours Mix.

## Mango Margarita

Cuervo Gold Tequila, Triple Sec, Lemon juice and Sours Mix, blended with fresh Mango puree.

## Strawberry Margarita

Cuervo Gold Tequila, Triple Sec and fresh Strawberry puree.

## Pomegranate Martini

Absolut Citron Vodka, Cointreau and Pomegranate juice with a splash of Soda and Lemon juice.

## Sour Apple Martini

Absolut Vodka, Sour Apple Pucker, Sours Mix and Sprite.

## Blue Laguna

Tanqueray and Cranberry juice, with a splash of Blue Curaçao and Peach Schnapps.

## Cosmopolitan

Absolut Vodka, Triple Sec, Rose's Lime Juice and a kiss of Cranberry juice.

## Velvet Hammer

Triple Sec, White Crème de Cacao and Grenadine, blended with Half & Half and Vanilla Ice Cream.

## Bloody Mary

Absolut Vodka and our spicy house-made Bloody Mary Mix.

## Mimosa

Part Orange juice. Part Champagne.

## Hurricane

Bacardi Rum, Sours Mix, Orange juice and a dash of Grenadine.



# BEER

## Bottled Beer

### PREMIUM

Boulevard Wheat  
 Boulevard Pale Ale  
 Sam Adams  
 Stella Artois  
 Amstel Light  
 Bass

Bottle 4.89

### DOMESTIC

Budweiser  
 Bud Light  
 Coors Light  
 Miller Lite  
 Michelob Ultra  
 Bud Light Lime  
 – Green Apple

Bottle 3.89

## Draft Beer

### PREMIUM

Boulevard Wheat  
 Boulevard Pale Ale  
 Boulevard Seasonal  
 Sam Adams  
 Fat Tire  
 Guinness

Pint 4.89

### DOMESTIC

Budweiser  
 Bud Light  
 Coors Light  
 Miller Lite

Pint 3.89



# WINE



## White Wine

	GLS
Pacific Rim Riesling California	6.79
Cavit Pinot Grigio Northern Italy	7.49
Estancia Pinot Grigio California	8.49
BV Coastal Chardonnay California	5.79
J Lohr Chardonnay California	6.79
Kendall Jackson Chardonnay Sonoma, California	8.49
Benziger Sauvignon Blanc California	8.49
Beringer White Zinfandel California	4.79
Domaine Ste. Michelle, Brut, Sparkling Columbia Valley, WA	8.49

## Red Wine

	GLS
Razors Edge Shiraz South Australia	8.49
Echelon Pinot Noir California	6.79
Angeline Pinot Noir California	8.49
Blackstone Merlot California	7.49
Sterling Vintners Merlot California	9.79
Mondavi Private Select Cabernet California	6.79
Hess Select Cabernet California	9.79
Ravenswood Zinfandel California	7.49

# EXHIBIT C

## Of AMC Alcohol Service Operations and Management Plan

### Standard Requirements and Conditions of Approval

**Application:** Conditional Use Permit 14-10 – AMC Theater

**Applicant:** AMC Entertainment Inc.

**Location:** 1560 Azusa Avenue

### Conditions of Approval

*Conditions of approval are unique provisions, beyond the requirements of law, the municipal code, or standard practices that are applied to a project by the Planning Commission per Section 17.48.060 of the Zoning Code. Please note that if the design of your project or site conditions change, the conditions of approval may also change. If you have any questions regarding these requirements, please contact the City of Industry.*

1. The AMC Alcohol Service Operations and Management Plan is incorporated by reference and shall act as the enforceable conditions of approval for the service of alcohol at AMC Puente Hills. Violation of any of the actions listed in the AMC Alcohol Service Operations and Management Plan may be grounds for revocation of Conditional Use Permit 14-10.
2. MacGuffins shall not open for business or serve alcohol without prior written approval from the Planning Director. Prior to the opening/operation of MacGuffins and alcohol service, AMC Puente Hills shall notify the Planning Director who will inspect the site for compliance with the conditions of approval.
3. Conditional Use Permit 14-10 shall be renewed annually for a period of three years commencing from the initial date of operation of MacGuffins and service of alcohol. Thereafter, if there are not increased law enforcement activities at or attributed to AMC Hills Puente Hills, as determined by the Los Angeles County Sheriff's Department, and AMC Puente Hills has complied with the conditions of approval, the requirement for an annual renewal shall sunset. As part of the annual CUP renewal, the applicant shall provide an updated copy of the site specific risk assessment and security plan to the Planning Director.
  - a. The annual CUP review of Conditional Use Permit 14-10 shall be conducted by City Staff to verify compliance with all conditions of approval, applicable Chapters of the Municipal Code, and law enforcement activity occurring at or attributed to AMC Puente Hills. A report of the Staff's review shall be forwarded to the Planning Commission for review at a noticed public hearing.
4. After the sunset of the requirement for an annual renewal of the CUP, the Planning Director or Sheriff's Department may request an updated copy of the site specific risk assessment and security plan at any time. Any concerns that may arise from review of the site specific risk assessment and security plan will be communicated with AMC Puente Hills with the aim of rectifying the concerns. If the concerns violate the approved conditions of approval and are not addressed to the satisfaction of the Planning Director and Sherriff's Department, the City may

seek revocation of Conditional Use Permit 14-10.

5. Prior to the opening/operation of MacGuffins and alcohol service, security cameras that are connected to the PSO system and allow law-enforcement real-time access to the surveillance feeds will be installed to provide coverage inside the theater lobby and of MacGuffins.
6. At any time, if there incidents of increased law enforcement activities at or attributed to AMC Puente Hills, as determined by the Los Angeles County Sheriff's Department, the Sheriff's Department may recommend actions to correct the situation, such as increased uniformed security personnel, expanded hours of security personnel, limitations of the hours of alcohol service, as well as measures provided by AMC staff and approved by the Sheriff's Department. The Planning Direct may then direct that these measures be implemented to address the security concerns. If these measures or other measures fail to correct the situation or AMC fails to effectively enact corrective measures, the City may seek revocation of Conditional Use Permit 14-10.
7. Conditional Use Permit 14-10 is directly tied to the operation and management of AMC Puente Hills by American Multi-Cinema (AMC) Inc. as described in the AMC Alcohol Service Operations and Management Plan. The transfer of the ABC license or change in ownership of the theater shall necessitate a revised CUP prior to continued alcohol service to ensure that all conditions of approval are maintained. Prior to the transfer of the ABC license or change in ownership of the theater, an application to revise Conditional Use Permit 14-10 shall be approved by the Planning Commission.
8. No changes to the approved floor plan may be permitted without prior written permission from the City of Industry in consultation with the Los Angeles County Sheriff's Department.

### **Code Requirements and Standards**

*The following is a list of code requirements and standards deemed applicable to the proposed project. The list is intended to assist the applicant by identifying requirements that must be satisfied during the various stages of project permitting, implementation, and operation. It should be noted that this list is in addition to any "conditions of approval" adopted by the Planning Commission and noted above. Please note that if the design of your project or site conditions change, the list may also change. If you have any questions regarding these requirements, please contact the City of Industry.*

1. The entire premise is subject to inspection by the Los Angeles County Sheriff's Department and/or City representative at any reasonable time without prior notification.
2. Off-street parking shall be provided at all times in accordance with the originally approved site plan and shall be maintained in a clean and attractive manner (trash, litter, or other materials shall be removed regularly).
3. All landscaped areas shall be maintained in accordance with the originally approved landscaped plan and in a healthy and well-kept condition and kept weed free.
4. All trash containers shall be kept inside a building or in a designated trash enclosure.
5. Emergency fire facilities (hydrants) shall be kept free and unobstructed at all times.
6. No outside storage of any personal property, building materials, or other property not permanently affixed to the real property shall be allowed, unless approved by the Planning Director.
7. No outside display of goods, wares, or merchandise shall be permitted, unless approved by the



Planning Director.

8. Any graffiti painted or marked upon the premises or any adjacent area under the control of the permittee shall be removed or painted over within 72 hours of being applied.
9. There shall be no adult entertainment, male or female performers or fashion shows permitted on the premises at any time.
10. No X-rated or adult films shall be maintained or shown anywhere on the premises.
11. No dancing or live entertainment by employees or customers will be permitted at any time.
12. No employee or agent shall be permitted to accept money or any other thing of value from a customer for the purpose of sitting or otherwise spending time with customers while in the premises, nor shall the permittee provide or permit, or make available either gratuitous or for compensation, male or female persons who act as escorts, companions, or guests of and for the customers.
13. No non-prescription drugs or drug paraphernalia shall be on the premises at any time.
14. All signs, banners, pennants, flags or other outside advertising materials or structures must be approved by the City.
15. Permittee will be held responsible for acquainting all employees with these rules and all local, county, state, or federal laws.
16. The noise level created by the business shall not exceed the following at the property line of any adjacent or nearby residential land use, hospital, school in session, church or public library as measured by a sound level meter:
  - (a) 55 dBA between 7:00 a.m. - 10:00 p.m.  
50 dBA between 10:00 p.m. - 7:00 a.m.  
for a cumulative period of more than 30 minutes in any hour;
  - (b) 60 dBA between 7:00 a.m. - 10:00 p.m.  
55 dBA between 10:00 p.m. - 7:00 a.m.  
for a cumulative period of more than 15 minutes in any hour;
  - (c) 65 dBA between 7:00 a.m. - 10:00 p.m.  
60 dBA between 10:00 p.m. - 7:00 a.m.  
for a cumulative period of more than 5 minutes in any hour;
  - (d) 70 dBA between 7:00 a.m. - 10:00 p.m.  
65 dBA between 10:00 p.m. - 7:00 a.m.  
at any time.
17. Any violation of these conditions or any local, county, state or federal laws shall constitute grounds for revocation or suspension of the Conditional Use Permit.
18. No outside cooking, food preparation, or sales of product or merchandise, unless approved in advance by the Planning Director.

### **Interpretation and Enforcement**

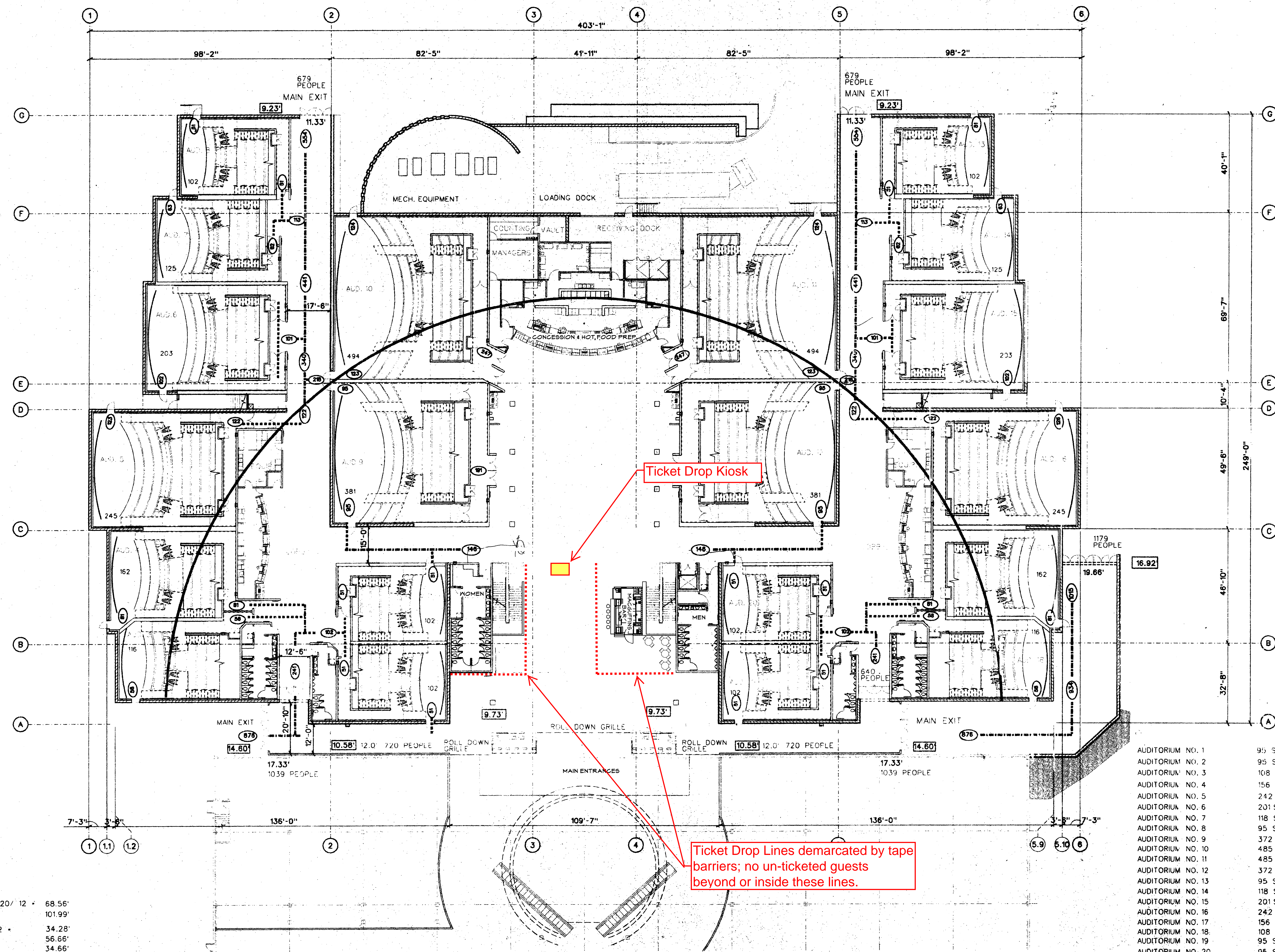
1. The Planning Department, Engineering Department, and contract agencies (Los Angeles

County Fire Department, Los Angeles Department of Building and Safety) shall be responsible for ensuring compliance with all applicable code requirements and conditions of approval.

2. The Planning Director may interpret the implementation of each condition of approval and, with advanced notice, grant minor amendments to approved plans and/or conditions of approval based on changed circumstances, new information, and/or relevant factors as long as the spirit and intent of the approved condition of approval is satisfied. Permits shall not be issued until the proposed minor amendment has been reviewed and approved for conformance with the intent of the approved condition of approval. If the proposed changes are substantial in nature, an amendment to the original entitlement may be required pursuant to the provisions of Industry Municipal Code.

LEGEND

- ⊖ INDICATES NUMBER OF THEATER OCCUPANTS EXITING.
- 000" INDICATES REQUIRED EXIT WIDTH
- 0.00' INDICATES EXIT WIDTH PROVIDED



REQUIRED EXIT WIDTH	414 X .20 / 12	68.56'
PROVIDED EXIT WIDTH		101.99'
REQUIRED MAIN EXIT WIDTH	68.56/2	34.28'
PROVIDED MAIN EXIT WIDTH		56.66'
PROVIDED FRONT EXIT WIDTH		34.66'

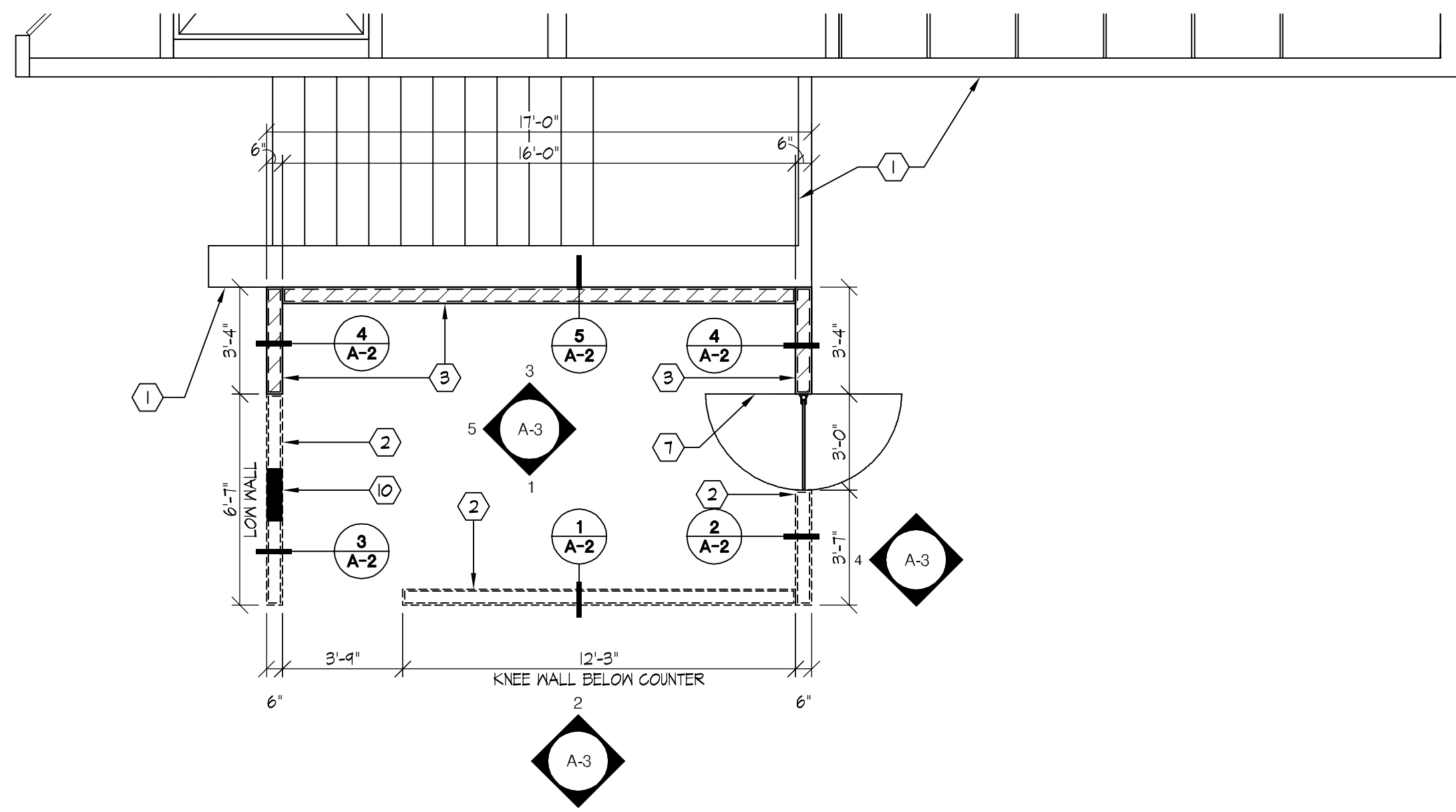
AUDITORIUM NO. 1	95 SEATS
AUDITORIUM NO. 2	95 SEATS
AUDITORIUM NO. 3	108 SEATS
AUDITORIUM NO. 4	156 SEATS
AUDITORIUM NO. 5	242 SEATS
AUDITORIUM NO. 6	201 SEATS
AUDITORIUM NO. 7	118 SEATS
AUDITORIUM NO. 8	95 SEATS
AUDITORIUM NO. 9	372 SEATS
AUDITORIUM NO. 10	485 SEATS
AUDITORIUM NO. 11	485 SEATS
AUDITORIUM NO. 12	372 SEATS
AUDITORIUM NO. 13	95 SEATS
AUDITORIUM NO. 14	118 SEATS
AUDITORIUM NO. 15	201 SEATS
AUDITORIUM NO. 16	242 SEATS
AUDITORIUM NO. 17	156 SEATS
AUDITORIUM NO. 18	108 SEATS
AUDITORIUM NO. 19	95 SEATS
AUDITORIUM NO. 20	95 SEATS
TOTAL	3934 SEATS
EMPLOYEES	50
TOTAL	3984

1 FIRST LEVEL EXIT PLAN  
 SCALE: 1/8" = 1'-0" NORTH

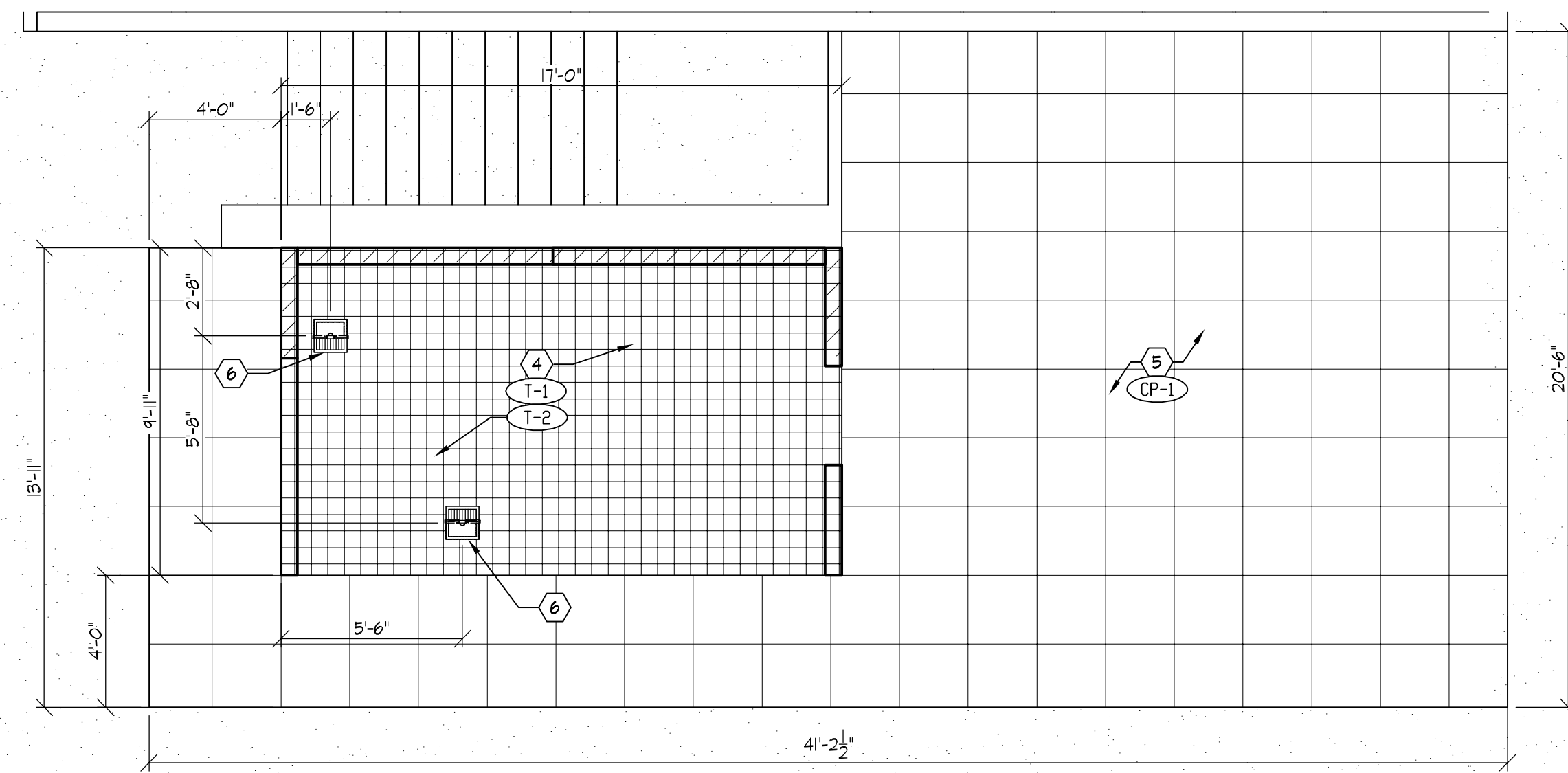
MCGUFFINS DETAIL AREA

S T O U T E N B O R O U G H ARCHITECTS & PLANNERS  
 One Ventura, Suite 200 • Irvine, Ca. 92718  
 TEL: 714.763.4433 • FAX: 714.763.4478

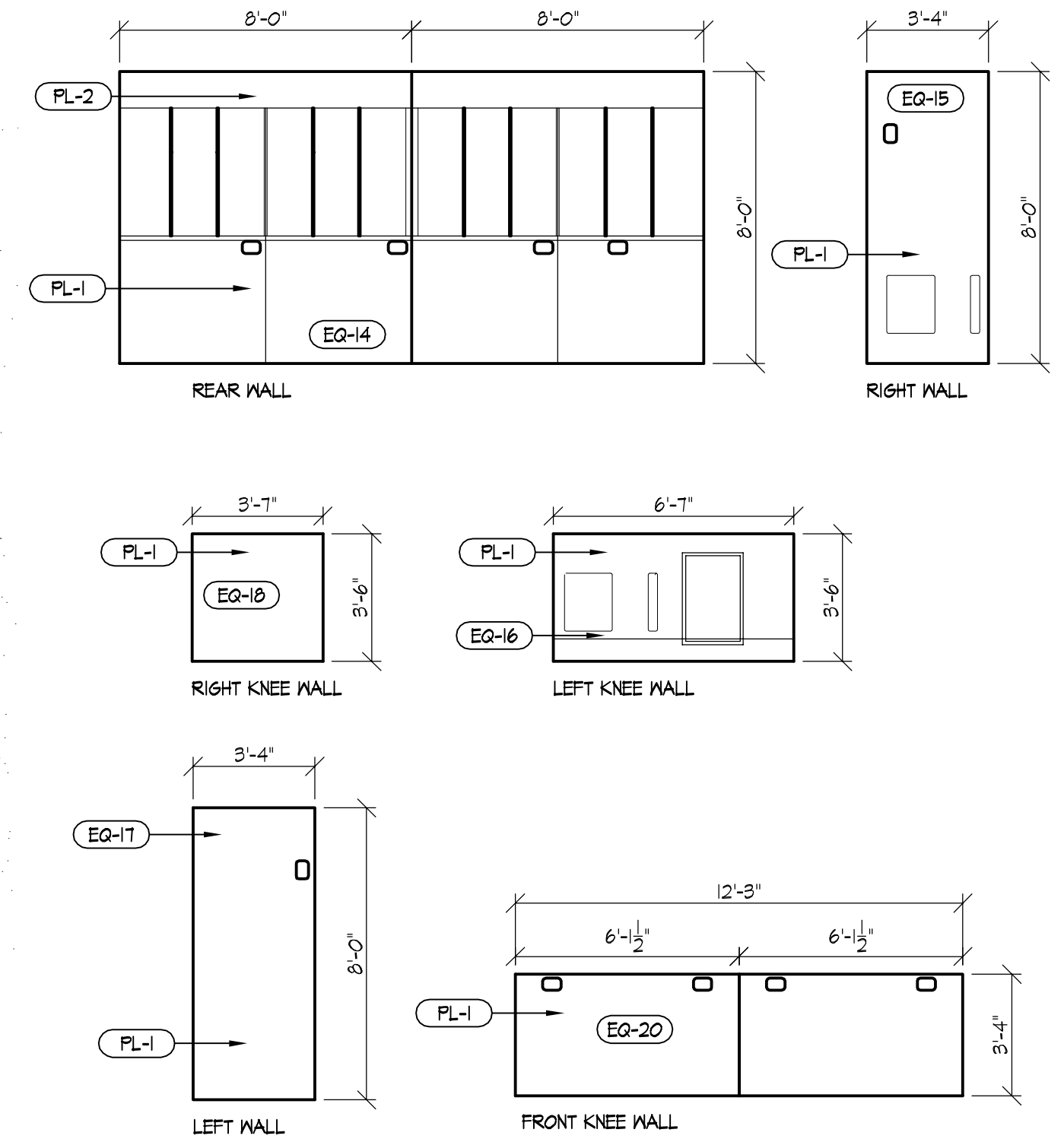
A MALL RENOVATION & ENTERTAINMENT CENTER  
 BUENOS AIRES HILLS MALL  
 CITY OF INDUSTRY, CALIFORNIA  
 TITLE: EXIT PLAN  
 DATE: 8-19-96  
 SCALE: 1/8" = 1'-0"  
 DRAWN: JTS  
 APPROVED: JTS  
 SHEET: A0.3



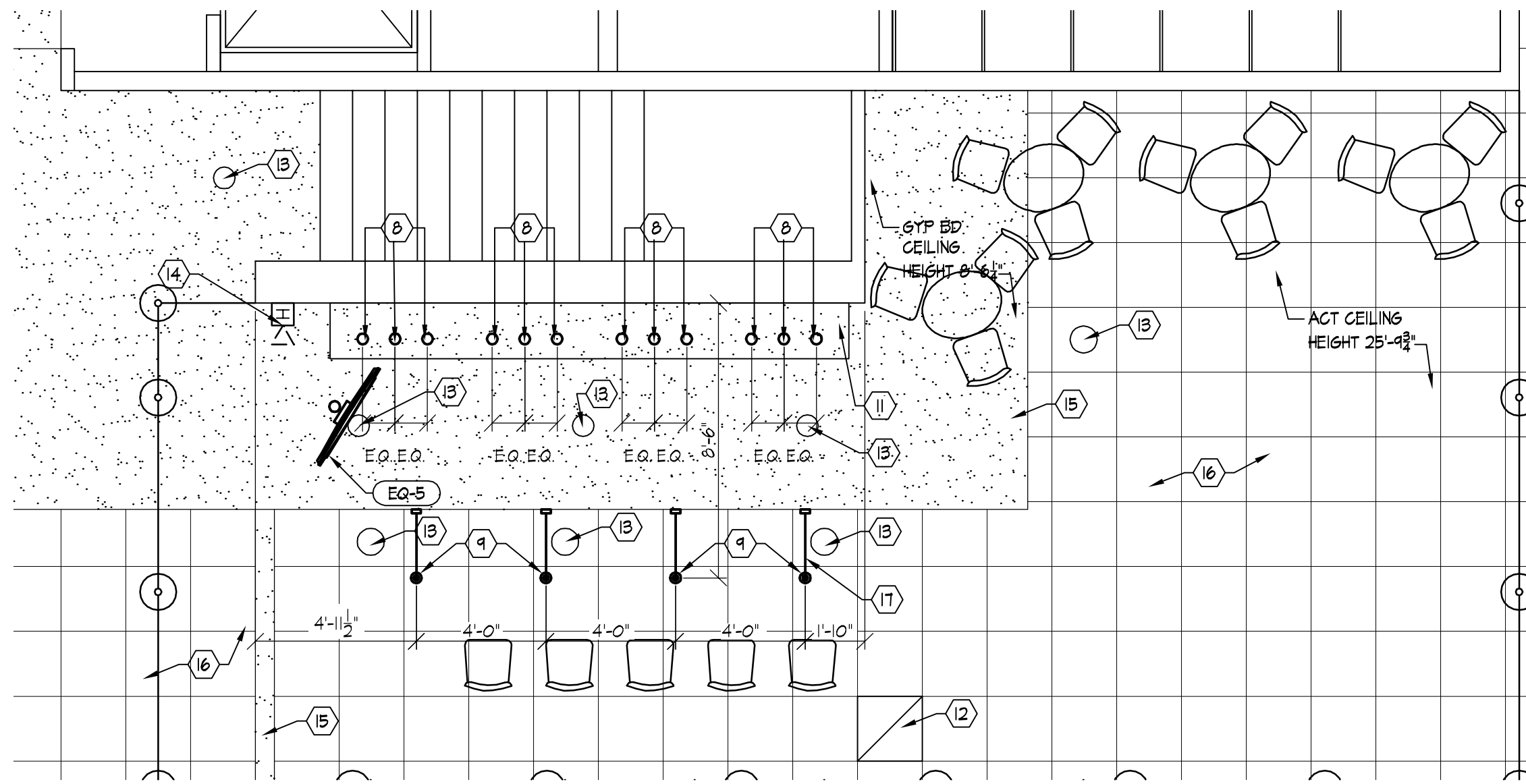
**1 PROPOSED FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**4 PROPOSED FLOOR FINISH PLAN**  
SCALE: 1/4" = 1'-0"



**5 PROPOSED EQUIPMENT ELEVATIONS**  
SCALE: 1/4" = 1'-0"



**2 PROPOSED RCP**  
SCALE: 1/4" = 1'-0"

SPECIFICATIONS	
<b>KEY FLOOR FINISHES</b>	
T-1	FLOOR TILE: DALTILE QUARRY TEXTURES, 6"x6"x1/2", WITH ABRASIVE, COLOR ASHEN GREY. PRISM SURE COLOR GROUT ANSI A118.7, COLOR: NATURAL GRAY #4. DALTILE FOUR STAR RAPID SETTING SYSTEM. DRS45 COMPLETE CONTACT RS SINGLE COMPONENT FORTIFIED MORTAR GRAY ANSI A118.4 NOTE: USE 6"x6" QUARRY TILE BULLNOSE Q-1665 WITH ABRASIVE TRANSITIONS. NOTE: CONTACT LOCAL DALTILE REPRESENTATIVE.
T-2	TILE BASE: DALTILE QUARRY TEXTURES, 5"x6"x1/2", #Q-3565, COLOR: ASHEN GRAY. PRISM SURE COLOR GROUT ANSI A118.7, COLOR: NATURAL GRAY #4. DALTILE FOUR STAR RAPID SETTING SYSTEM. DRS45 COMPLETE CONTACT RS SINGLE COMPONENT FORTIFIED MORTAR GRAY ANSI A118.4. NOTE: BASE GOES ON FLOOR, NOT ON TOP OF TILE.
CP-1	2' X 2' BLACK CARPET TILE SQUARES. TO BE PROVIDED BY LOAD KING.

KEY WALL/SURFACE FINISHES			
XXX	MANUFACTURER	COLOR	LOCATION
PL-1	WILSON ART LAMINATE	SATIN SILVER #4829	UPPER WALL
PL-2	WILSON ART LAMINATE	ASIAN NIGHT #1944	LOWER WALL
PL-3	WILSON ART LAMINATE	SILVER #D334	TOE KICK
PL-4	WILSON ART LAMINATE	BLACK	CHAIR RAIL
PL-5	WILSON ART LAMINATE	WHITE	--
S-1	CORIAN COUNTERTOP		BAR TOP, WALL CAP
S-2	SILESTONE COUNTERTOP		POS STATIONS
<b>KEY CEILING</b>			
C-1	SUSPENDED CEILING: 24"x24" VINYL FACED LAY-IN PANELS (WHITE) IN EXISTING T-GRID BY ARMSTRONG OR EQUAL. CLASS 'A' FIRE RATING.		
L-1	ASPECTS DROPLET COLLECTION- RED HAND BLOWN I- LIGHT PENDANT. MODEL # DLPI3RDSCT		

**KEYED NOTES:**

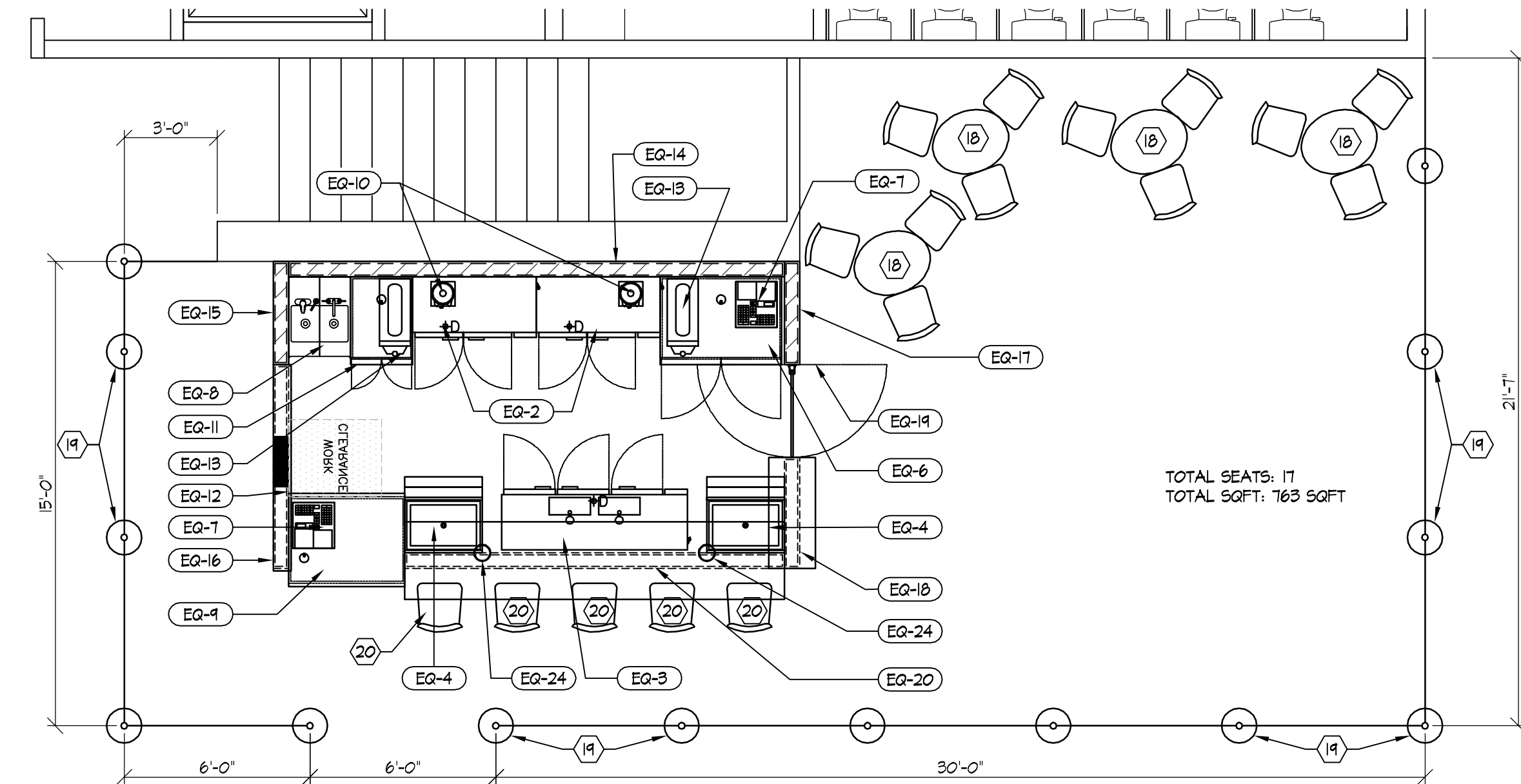
- ① EXISTING WALL TO REMAIN. GC. TO REMOVE EXISTING FINISHES AND APPLY THE MAGGUFFIN FINISHES.
- ② NEW LOW WALL BELOW COUNTER.
- ③ NEW WALL. SEE SHEET A-2.
- ④ NEW FLOOR TILE (T-1) AND TILE BASE (T-2)
- ⑤ NEW 24"x24" BLACK CARPET TILES.
- ⑥ NEW FLOOR SINK.
- ⑦ NEW SWING GATE.
- ⑧ NEW LED LIGHTS, TYP. REFER TO ELEC.
- ⑨ NEW PENDANT LIGHTS.
- ⑩ NEW ELECTRICAL PANEL BY LOAD KING.
- ⑪ NEW KIOSK SOFFIT.
- ⑫ EXISTING HVAC DEVICE DIFFUSER TO REMAIN.
- ⑬ EXISTING LIGHTING TO REMAIN.
- ⑭ RELOCATED FIRE ALARM STROBE LIGHT AND HORN.
- ⑮ EXISTING SOFFIT TO REMAIN
- ⑯ EXISTING CEILING GRID TO REMAIN
- ⑰ 1-5/8" UNISTRUT ATTACHED TO 4"x4" STEEL PLATE. BOLT PENDANT MOUNT TO EXISTING STRUCTURE.
- ⑱ NEW BAR HEIGHT TABLES AND SEATING. PROVIDED BY LOAD KING.
- ⑳ NEW TENSOR BARRIER. PROVIDED BY LOAD KING.
- ㉑ NEW BAR HEIGHT SEATING.

EQUIPMENT SCHEDULE			
TAG #	QTY	DESCRIPTION	MODEL #
EQ-1	--		
EQ-2	2	2- DOOR BEVERAGE REFRIGERATOR	#BB40 6SY (40 X 23.5 X 34)
EQ-3	1	72" KEGATOR	BEVERAGE-AIR #DD70
EQ-4	2	30" ICE BIN W/ SP RAIL, W/COLD PLATE	KROWNE, KR18-30"
EQ-5	1	WALL MOUNTED TV	--
EQ-6	1	4'-0" P.O.S. TABLE	--
EQ-7	2	P.O.S. EQUIPMENT BY OWNER	--
EQ-8	1	DUMP SINK/HAND SINK	--
EQ-9	1	BAG-N-BOX CABINET	--
EQ-10	2	BLENDER	--
EQ-11	1	24" X 36" CABINET	--
EQ-12	1	VERTICAL CUP HOLDER	--
EQ-13	2	12" X 26" MARGARITA MIXER	FROSTY FACTORY, 12T
EQ-14	1	REAR WALL 16'-0"	BY LOAD KING
EQ-15	1	LEFT SIDE WALL 3'-4"	BY LOAD KING
EQ-16	1	LEFT SIDE LOW WALL 6'-7"	BY LOAD KING
EQ-17	1	RIGHT SIDE WALL 3'-4"	BY LOAD KING
EQ-18	1	RIGHT SIDE KNEE WALL 3'-7"	BY LOAD KING
EQ-19	1	SWING GATE	BY LOAD KING
EQ-20	1	FRONT KNEE WALL 12'-3"	BY LOAD KING
EQ-24	2	BAR GUN	BY LOAD KING

**WALL TYPE LEGEND:**

	EXISTING WALL CONSTRUCTION TO REMAIN
	NEW PRE-FABRICATED WALL PROVIDED BY LOAD KING
	NEW PRE-FABRICATED LOW WALL PROVIDED BY LOAD KING

ANY MODIFICATIONS TO EXISTING FIRE SPRINKLER SYSTEM SHALL BE UNDER SEPARATE PERMIT. SUBMITTED BY FIRE PROTECTION CONTRACTOR.



**3 PROPOSED EQUIPMENT PLAN**  
SCALE: 1/4" = 1'-0"

REGISTRATION SEAL

**ARCVISION**  
INCORPORATED  
ARCHITECTURE • ENGINEERING • STORE PLANNING  
SAINT LOUIS • DALLAS • LAS VEGAS • ORLANDO  
1950 CRAIG ROAD, SUITE 300 ST. LOUIS, MO 63146  
PH: (314) 415-2400 FAX: (314) 415-2400 www.arcv.com

**amc**  
THEATRES®

PUENTE HILLS 20  
1560 SOUTH AZUSA  
ROWLAND HEIGHTS, CA 91748

REV.	DATE	DESCRIPTION

PROJECT NO: 130902  
DRAWN BY: JMR  
CHECKED BY: CAB  
ISSUE DATE: 12/13/13  
FLOOR PLANS / RCP / EQUIPMENT PLAN

*PLANNING COMMISSION*

ITEM NO. 7.2



# CITY OF INDUSTRY

P.O. Box 3366 • 15625 E. Stafford St. • City of Industry, CA 91744-0366 • (626) 333-2211 • FAX (626) 961-6795

## MEMORANDUM

To: Planning Commission

March 5, 2015

From: Brian James

**Subject: Development Plan 14-11 and Zone Exception 15-1**

### Proposal

Section 17.04.120 of the Municipal Code requires that when separate applications for the same project involve final decisions by the Planning Commission and City Council, all applications first be submitted to the Planning Commission for review and recommendation and then to the City Council for a final decision. This project involves the following two applications submitted by Harvard Card Systems (Attachment 1):

- Section 17.40.020 of the Municipal Code requires approval of Zone Exceptions for deviations from development standards. Zone Exception 15-1 is to address existing deviations from development standards related to the maximum square footage allowance, required parking spaces, number of compact parking spaces, tandem parking spaces, drive-aisle width, and shortfalls in required landscaping area. The proposed expansion of interior mezzanine space and building expansion do not create but exacerbate these existing non-conforming situations. The Zone Exception application would acknowledge and legitimize these deviations.
- Section 17.36.020 of the Municipal Code requires approval of a Development Plan by the City Council for new construction. Development Plan 14-11 is to modify an existing building to increase the mezzanine area, enlarge the loading area, and modernize the façade and landscaping. These changes will result in an increase in the mezzanine area by 12,912 square feet and the building footprint by 3,943 square feet. The purpose of the alterations are to allow the existing building to accommodate new card processing equipment, improve the efficiency of storage and work-flow operations, and improve shipping and loading operations.

### *Existing Conditions*

As shown on Attachment 2, the existing building is 112,676 square feet and does not comply with several development standards in terms of landscape area (5.2 percent provided versus 12 percent required), parking (96 provided versus 163 required), maximum floor area (61 percent existing versus 50 percent allowed), tandem parking spaces, lack of trash/recycling enclosures, and drive aisle width (minimum 26' width). The parking layout is confusing and inefficient and does not provide sufficient fire access. Gates located near the sidewalks create vehicle stacking into public streets and a potentially unsafe condition.

### *Proposed Project*

As shown in the attached site plan (Attachment 3), the proposed building would be a total of 133,477 square feet including 13,254 square feet of office space, 16,858 square feet of mezzanine space, and a 3,943 square foot expansion on the northern side of the building.

Parking and access would be improved by the provision of a fire lane, sufficient truck maneuvering area, and a more efficient parking layout. Two existing closed driveways would be landscaped and a total of four driveways would provide access to the site: two on Baldwin Park Boulevard and two on Railroad Avenue. The gates would be signed and required to be open during operating hours to prevent stacking issues. Compact spaces and angled parking would increase the total number of parking spaces over existing conditions and allow for additional drive-aisles to improve on-site circulation. The project would provide 115 parking spaces as follows:

- 14 standard parking spaces, including 6 accessible spaces
- 87 compact spaces
- 14 tandem spaces

In addition, there would be bike racks accommodating six bicycle parking spaces located near the office. Landscaping would be slightly increased to 9,606 square feet (5.2 percent), which is after the addition of a sidewalk by the City along both street frontages that would take some area originally calculated for landscaping. Landscaping would be modernized and brought into compliance with new irrigation and water efficient plant requirements (Attachment 4).

As shown on the elevations (Attachment 5), the building's exterior would only change on the northern side of the building where the addition is proposed to occur. However, the entire building and exterior wrought-iron fence would be repainted. Coupled with the new landscaping, the improvements would provide a facelift to the existing site.

### **Location and Surroundings**

As shown on the attached location map (Attachment 6), the proposed project is located at 111 Baldwin Park Boulevard, which is the northwest corner of Baldwin Park Boulevard and Railroad Avenue. The site is surrounded by industrial uses on the northern, western, and eastern sides with the Union Pacific Railroad tracks to the south and a mixture of commercial and automotive uses immediately beyond.

### **Staff Analysis**

The proposed development project is consistent with the Zoning ("M" – Industrial) and General Plan (Employment) designations of the site and complies with the following development and design standards in Section 17.36, *Design Review*, of the Industry Municipal Code. Specifically, the project:

- Meets design guidelines. Section 17.36.060 A-J of the Municipal Code call for well-designed and coordinated buildings, walls, lighting, and landscaping.
- Meets bicycle-parking requirements. Chapter 17.68 of the Municipal Code requires that the development accommodate four bicycles for the first 50,000 square feet and one bicycle per each additional 50,000 square feet. Based on this formula, six bicycles must be accommodates and parking for six bicycles is proposed.
- Complies with requirements for loading, screening, trash/recycling enclosures, and building and wall heights.

### *Zone Exception*

As noted above, the existing building is deficient from code requirements in several areas. Without a complete tear down, the building would never be brought into conformance with all development standards. The intent has been to work with the property owner to improve the site, landscaping, circulation, and building to the greatest extent possible and legitimize the deviations from the development standards.

Sections 17.40.020 and 17.40.030 of the Municipal Code allows for the granting of an exception when: 1) it is necessary for the preservation of a substantial property right, 2) it will not be materially detrimental to the public welfare or to the surrounding properties, and 3) if there are practical hardships in the application of the development standards but the spirit of the standards will still be preserved, public safety secured, and substantial justice done. In addition, if there are no protests, an exception may be granted even if it is not necessary for the preservation of a substantial property right.

State Planning and Zoning Law (Section 65906) requires that exceptions be granted only when, because of special circumstances applicable to the property, including size, shape, topography, location or surroundings, the strict application of the zoning ordinance deprives the property of privileges enjoyed by nearby properties in the same zone. State law also requires that any exception not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity. The proposed project would not meet code standards and requires approval of Zone Exceptions for the following development standards.

- Exceeds the 50 percent maximum floor area standard specified in Section 17.36.060 W of the Municipal Code. The existing floor area is 60.8 percent of the total site and as proposed would be 72.1 percent of the site. This increase is largely due to the increase in mezzanine area inside the existing building. The 3,943 square foot building expansion and increase in mezzanine space would exacerbate this existing non-conformity and is necessary to allow the existing building to accommodate new card processing equipment, improve the efficiency of storage and work-flow operations, and improve shipping and loading operations.
- Does not comply with the minimum landscape requirements set forth in Section 17.36.060 Q of the Municipal Code. The Municipal Code requires that 12 percent of a site be landscaped. As it exists, only 5.2 percent of the site is devoted to landscaping (9,538 square feet) and as proposed landscaping would increase slightly to 9,606 square feet (5.2 percent). The existing landscaping consists of dirt and a hedge. As proposed, a sidewalk would be installed by the City along the street frontages and the landscaping would be modernized and brought into compliance with new irrigation and water efficient plant requirements.
- Does not comply with the minimum parking requirements set forth in Section 17.36.060 K of the Municipal Code. Based on the City's parking standards, 184 parking spaces are required and 115 would be provided. As it exists, the site does not conform to parking requirements (96 provided versus 163 required). The proposed project would increase the overall parking as compared to existing conditions yet still fall short of code requirements. However, given the configuration of the site, there is not enough space to meet code requirements without a complete tear-down and rebuild of the site.
- Does not comply with the maximum ratio of compact parking spaces set forth in Section 17.36.060 K of the Municipal Code. The Municipal Code allows a maximum of 20 percent of total parking to be compact parking and 76 percent (87 spaces) are proposed to be compact. The compact spaces allow an increase in total parking, a fire lane, and improved efficiencies in the parking layout and access.
- Does not comply with the requirement for 90 degree parking spaces set forth in Section 17.36.060 K of the Municipal Code. 12 parking spaces are proposed to be angled. This deviation allows an overall increase in parking, accommodates a fire lane, and improves efficiencies in the parking layout and access.



- Does not comply with the requirement to provide a minimum of 26 foot wide drive-aisles set forth in Section 17.36.060 K of the Municipal Code. As it exists, one long drive-aisle does not conform to this requirement. As proposed, five drive-aisles would not comply with this requirement and range from 24' to 15'-5.5" in width. Drive-aisles providing access to 90 degree parking would be at least 24' wide. Drive-aisles of 16'-7.5" and 15'-5.5" would provide access to angled parking and conform to accepted standards in other communities, such as Los Angeles (Attachment 7). This deviation allows an overall increase in parking, accommodates a fire lane, and improves efficiencies in the parking layout and access.
- The Municipal Code does not allow for tandem parking spaces. Section 17.36.060 K of the Municipal Code only allows for 90 degree parking spaces. 50 tandem spaces currently exist on the site. As proposed, 14 tandem spaces would be provided along the southern side of the building. The proposed project would decrease the number of tandem spaces yet allow for an overall increase in parking, a fire lane, and improve efficiencies in the parking layout and access. The main issue created by tandem parking is the blocking of cars and the ability to move cars when desired. This issue is an internal issue that would continue to be addressed by the employees/employer and, since the spaces would be used during shifts, would likely be filled and emptied at the same time.

Staff supports the request for the Zone Exceptions based on the following:

- The existing building is deficient from code requirements in several areas. Without a complete tear down, the building would never be brought into conformance with all development standards. The intent has been to work with the property owner to improve the site, access, on-site circulation, landscaping, and building to the greatest extent possible and legitimize the deviations from the development standards. The proposed project would be consistent with City design goals, improve parking and circulation efficiency, improve safety by eliminating vehicle stacking issues and accommodating a fire lane, bring the site into conformance with trash/recycling enclosure requirements, allow a sidewalk to be installed, and bring the site into conformance with water efficient irrigation and landscape requirements.
- It preserves a substantial property right to by allowing an existing building to be retrofitted to improve efficiency and operational needs.
- It will not be materially detrimental to public welfare or surrounding properties and would be safe because the project would improve on-site parking and circulation efficiency, result in a public sidewalk being installed, improve safety by eliminating vehicle stacking issues and accommodating a fire lane, and maintain a professional appearance and landscape frontage along the public rights-of-way largely consistent with current requirements.
- The spirit of the City's development standards will be preserved and justice done because the existing building and site are nonconforming with several code requirements and the zone exception would acknowledge that, without a complete tear down, the building could never be brought into conformance; however, the proposed project would result in improvements to safety, landscaping, building design, parking lot circulation, trash collection, pedestrian circulation, yet allow an improvement in the use and operation of the existing building.
- Due to the special circumstances applicable to this project site, the Zone Exceptions do not represent a grant of special privileges and are necessary to acknowledge the existing nonconformities and, to the greatest extent possible, improve the safety, landscaping, aesthetic design, parking lot circulation, pedestrian circulation, and trash collection of the building and site.

## **Environmental Analysis**

The proposed project is exempt from compliance with the California Environmental Quality Act (CEQA) under CEQA Guidelines Section 15301 Class 1, which exempts the operation, permitting, or minor alteration of existing facilities involving negligible or no expansion of the existing use and additions of less than 10,000 square feet in areas where services are provided and that are not environmentally sensitive. The proposal would involve alterations to an existing industrial building in a developed industrial area and largely involve interior modifications to add mezzanine space to accommodate new card processing equipment. The building footprint would increase 3,943 square feet to accommodate the new equipment and improve the storage and shipping processes.

## **Findings**

In regards to the Development Plan application, Staff recommends that the Planning Commission find that:

- The proposed improvement is consistent with the General Plan designation of Employment and conforms with the zoning designation of Industrial for the subject property in the City of Industry;
- The proposed development is compatible with the surrounding area, which consists of industrial uses;
- There is adequate street access and traffic capacity for the proposed development on Baldwin Park Boulevard and Railroad Avenue, which serve the project site;
- The proposed development will have no significant impact on the environment and is exempt from the requirements of the California Environmental Quality Act of 1970, as amended; and
- Due to the foregoing, the use requested will not be a menace to or endanger the public health, safety or general welfare to the City.

## **Public Hearing**

The required public hearing notice (Attachment 8) was mailed to property owners within 300 feet of the site; posted at the City Hall, Gale Avenue fire station, and council chambers, and; published in the San Gabriel Valley Tribune by February 27, 2015.

## **Recommendation**

Because: 1) the Zone Exceptions preserve a substantial property right, are not materially detrimental to the public welfare or surrounding properties, safety is preserved, and there are practical hardships resulting from the existing developed conditions that would prevent full conformance with the development standards; and 2) the Development Plan application proposes a project that complies with most of the development standards of the Municipal Code, has no environmental concerns, and satisfies the above-mentioned findings, Staff recommends that the Planning Commission:

1. Approve Resolution No. PC 2015-02 (Attachment 9) recommending that the City Council approve: 1) Development Plan No. 14-11 with the Standard Requirements and Conditions of Approval contained therein; and 2) Zoning Exception 15-1 for relief from the maximum square footage allowance, required parking spaces, number of compact parking spaces, tandem parking spaces, drive-aisle width, and shortfalls in required landscape area.

## **Attachments**

- Attachment 1: Application
- Attachment 2: Existing Site Plan
- Attachment 3: Proposed Site Plan
- Attachment 4: Conceptual Landscape Plan
- Attachment 5: Proposed Elevations
- Attachment 6: Location Map
- Attachment 7: City of Los Angeles Parking Standards
- Attachment 8: Public Hearing Notice
- Attachment 9: Resolution No. PC 2015-02 approving Development Plan 14-11 and Zone Exception 15-1 with findings of approval and Standard Requirements and Conditions of Approval

# **Attachment 1**

## **Application**



**City of Industry**  
**Development Plan Application (Short Form)**

15625 East Stafford Street • Suite 101 • City of Industry • CA • 91744  
 Phone: (626) 333-2211 • Fax: (626) 961-6795  
 www.cityofindustry.org

RECEIVED  
 1-22-15  
 CITY OF INDUSTRY

*The Development Plan – Short Form – is used for all interior only modifications as well as minor exterior modifications that can be exempted from Environmental Review. Please contact the Planning Department to determine if this application applies to your project.*

*Please type or print clearly*

Project Location: 111 Baldwin Park Blvd. City of Industry, CA 91746 Assessor's Parcel Number 8563-005-007  
Street Zip

Zoning Designation: M - Industrial General Plan Designation: Employment  
Xebec Building Company

Project Contact Person: John Killen Phone Number: 562.546-0267 Email Address: johnk@xbcinc.com

Address: 3010 Old Ranch Parkway, Ste. 480 Seal Beach, CA 90740  
Street City Zip

Applicant:  Property Owner  Tenant  Architect  Engineer  Builder

Name: Xebec Building Company/ John Killen Phone Number: 562.546-0267

Address: 3010 Old Ranch Parkway, Ste. 480 Seal Beach, CA 90740  
Street City Zip

Property Owner Information:

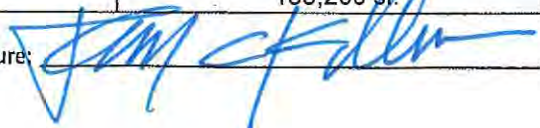
Name: Harvard Card Systems Phone Number: 626.333.8881

Address: 111 Baldwin Park Blvd City of Industry, CA 91746  
Street City Zip

Project Description (describe in detail):  
 Project is an existing manufacturing facility. Proposed interior modifications is for expanded storage and equipment on mezzanine levels. Additional mezzanine area to be added is 16,858 sf. Proposed building expansion of existing exterior north loading area total in 3,943 sf. Proposed exterior renovations include modified parking and loading dock on Northeast side of the building. Hours of operation and use of facility will stay as current operation.

Project Valuation: \_\_\_\_\_

	Existing	Proposed
Building Area	112,676 sf.	133,477 sf.
Landscape Area	9,538 sf.	9,793 sf.
Parking Spaces	96	112
Land Area	185,200 sf.	185,200 sf.

Applicant Name: Xebec Building Company/ John Killen Applicant Signature: 

Date: 1-21-15

*Please submit the following with this application(see attached examples):*

- Two (2) sets – Fully dimensioned and labeled Site Plans (At least one set must be 11 x 17)
- Two (2) sets – Fully dimensioned and labeled Elevations (At least one set must be 11 x 17 and colored)
- Two (2) Sets – Fully dimensioned and labeled Floor Plans (At least one set must be 11 x 17)
- Application for Commercial/Industrial Waste Service signed by Valley Vista Services.

*\*All plans submitted with this application will be kept on file with this office.*



City of Industry
Zone Exception Application

15625 East Stafford Street • Suite 101 • City of Industry • CA • 91744
Phone: (626) 333-2211 • Fax: (626) 961-6795
www.cityofindustry.org

ZE 15-1
JN 9153

Please type or print clearly

Applicant Name: Xebec Building Company- John Killen

Project Location: 111 Baldwin Park Blvd City of Industry, CA 91746 Assessor's Parcel Number 8563-005-007

Project Contact Person: John Killen Phone Number: 562.546.0267 Email Address: johnk@xbcinc.com

Address: 3010 Old Ranch Parkway, Ste. 480 Seal Beach, CA 90740

Property Owner: Harvard Card Systems Phone Number: 626.333.8881

Address: 111 Baldwin Park Blvd City of Industry, CA 91746

Legal Description of Property: Refer to the attached

Current Zone: M - Industrial General Plan Designation: Employment Gross Site Area:

Describe the proposed use of the site: Custom Plastic Card Manufacturing Facility

Zoning code section from which exception is sought: Industrial Zone Sect. 17.16

Zone exception request (e.g. 105 parking spaces in-lieu of 115 required by zoning code): Refer to the attached

The zone exception is requested for the following reasons: Refer to the attached

Consent and Certification

I/WE state that, as the applicant(s) for the zone exception herein described, I/WE have read the completed applications and know the contents herein. I/we declare, under penalty of perjury, that the information contained in this application and the plans and supporting materials submitted herewith are true and correct to the best of MY/OUR knowledge.

Applicant Name: Xebec Building Company- John Killen

Applicant Signature: [Handwritten Signature]

Date: 1-21-15



# CITY OF INDUSTRY

15625 East Stafford Street Suite 101 City of Industry CA 91744  
(626) 333-2211 FAX (626) 961-6795  
[www.cityofindustry.org](http://www.cityofindustry.org)  
[planning@cityofindustry.org](mailto:planning@cityofindustry.org)

PROPERTY OWNER  
CONSENT AFFIDAVIT FOR  
ZONE EXCEPTION  
APPLICATION

**\*\*THIS FORM MUST BE NOTARIZED\*\***

**BUSINESS DESCRIPTION** Custom Plastic Card Manufacturing Facility

**BUSINESS LOCATION** 111 Baldwin Park Blvd, City of Industry, CA 91746

STATE OF CALIFORNIA )  
COUNTY OF LOS ANGELES ) SS  
CITY OF INDUSTRY )

DATE:

I/We, \_\_\_\_\_, \_\_\_\_\_, the **OWNER(s)** of the Real Property involved in this application, do hereby consent to the filing of this application. I/We do hereby appoint the following person(s) as my agent(s) to act on my behalf on the foregoing application:

**OWNER'S AGENT:** Xebec Building Company John Killen Phone No. (562) 546-0267  
(e.g. Property Manager) (Printed Name of Agent)

**Address of Owner's Agent:** 3010 Old Ranch Parkway, Ste. 480 Seal Beach, CA 90740  
(Number) (Street) (City) (State) (Zip)

**OWNER:** [Signature]  
(Signature)

**OWNER:** John Killen  
(Printed Name)

**Address:** 111 Baldwin Park Blvd.  
(Number) (Street)  
City of Industry, CA 91746  
(City) (State) (Zip)

**Address:** \_\_\_\_\_  
(Number) (Street)  
\_\_\_\_\_  
(City) (State) (Zip)

**NOTE:** A NOTARIZED OWNER'S AFFIDAVIT IS REQUIRED AS PARTY OF ALL APPLICATIONS. IF OWNERSHIP IS HELD OTHER THAN BY AN INDIVIDUAL, PROOF, IN THE FORM OF A SPECIAL POWER OF ATTORNEY, AUTHORIZED CORPORATE RESOLUTION, PARTNERSHIP AGREEMENT OR OTHER ACCEPTABLE DOCUMENT(S) SHALL BE SUBMITTED TO THE CITY ALONG WITH THE NOTARIZED SIGNATURES OF THOSE OFFICERS AUTHORIZED TO SIGN ON BEHALF OF THE CORPORATION OR PARTNERSHIP. PLEASE NOTE THAT OUR APPLICATION MAY NOT BE DETERMINED TO BE COMPLETE UNLESS AND UNTIL OWNERSHIP CAN BE VERIFIED.

### FOR NOTARY USE ONLY

STATE OF \_\_\_\_\_ )

*see Attached*

COUNTY OF \_\_\_\_\_ )

Subscribed and sworn to (or affirmed) before me on this \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_\_

by \_\_\_\_\_, by \_\_\_\_\_  
(Printed Name of Owner As Signed Above) (Printed Name of Owner As Signed Above)

proved to me on the basis of satisfactory evidence to be the person(s) who appeared before me.

\_\_\_\_\_  
NOTARY PUBLIC (Signature)

(SEAL)

A Notary Public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of Orange

Subscribed and sworn to (or affirmed) before me on this 21<sup>st</sup> day of January, 2015, by John C Killen, proved to me on the basis of satisfactory evidence to be the person who appeared before me, and who being sworn, deposes and says that he executed the attached document and that the statements and answers contained therein are complete, true, and accurate.

(Seal)



Signature

*Sarah Lynne Norton*



## Environmental Information Form

The Environmental Information Form is intended to provide the basic information necessary for the evaluation of your project to determine its potential environmental impacts. This review provides the basis for determining whether the project may have a significant impact on the environment, as required by state law, or more specifically, the California Environmental Quality Act (CEQA). After this information has been evaluated by the Planning Department, a determination will be made regarding the appropriate environmental documentation for your project, in accordance with the CEQA Guidelines.

If no significant environmental impacts are anticipated, or if impacts can be mitigated or avoided by a change or specific requirement in the project's design or operation, a Negative Declaration or Mitigated Negative Declaration will be prepared. If potential significant environmental impacts are identified, an Environmental Impact Report must be prepared, which focuses on the areas of concern identified by the Initial Study.

The City of Industry, as Lead Agency, is required to comply with CEQA. In order to assist us in completing this required environmental review, please provide us with the information outlined below. Please note that upon review of the submitted information, City staff may request additional supporting documentation to assist in the environmental analysis of your project to ensure compliance with CEQA.

This Environmental Information Form works in concert with the other applications. Both need to be completed in order for your application to be accepted as complete. If you need assistance in completing the Environmental Information Form, or have questions regarding the environmental review procedures, please contact the Planning Department at (626) 333-2211.

**General Information**

Xebec Building Company

1. Name developer, agent, or project sponsor: John Killen Phone Number: 562.546-0267

Address: 3010 Old Ranch Parkway, Ste. 480 Seal Beach, CA 90740  
Street City Zip

2. Project name: Harvard Card Systems Assessor's Parcel Number: 8563-005-007

Address: 111 Baldwin Park Blvd. City of Industry, CA 91746  
Street Zip

**Environmental Setting (Attach additional sheets and photos as necessary)**

1. Describe the project site as it exists before the project, including information on topography, soil stability, plants and animals, and any cultural, historical, or scenic aspects:

Existing project with developed site, landscaping, parking, and building.

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2. Provide photographs of the site and describe any existing structures onsite and the use of the structures:

Refer to attached photos of existing facility.

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3. Describe the surrounding properties (north, east, south, and west of the project site), including information on plants and animals and any cultural, historical, or scenic aspects. Indicate the type of land use (industrial, commercial, etc.), intensity of land use (warehousing, shops, department stores, etc.), and scale of development (height, frontage, setback, rear yard, etc.):

Renovation of existing manufacturing building

No cultural or historical aspect to site. Surrounding properties are zoned - M (Industrial).

4. Provide photographs of the surrounding uses and adjoining properties. -Refer to attached photos.

**Project Description (attach additional sheets as necessary)**

1. List and describe any other permits and approvals required for project implementation, including those required by local, regional, state, and/or federal agencies:

Grading Permit, Building & Safety, Certificate of Occupancy

2. List any other development proposals associated with the project and its relationship to a larger project or series of projects, if any:

None

3. Demolition proposed: No:  Yes:  Square feet: 545 sf

4. Tentative development schedule including start and completion dates, and phasing if proposed:

5. If commercial or office, indicate the type, whether neighborhood, city or regionally oriented, square footage, anticipated hours of operation, estimated employees per shift and number of shifts, and location of loading facilities and anticipated hours of loading/delivery operations:

Not applicable.

6. If industrial, manufacturing or warehouse, indicate the type and major function, square footage, anticipated hours of operation, estimated employees per shift and number of shifts, and location of loading facilities and anticipated hours of loading/delivery operations:

Project is an existing manufacturing facility. Proposed interior modifications is for expanded storage and equipment on mezzanine levels. Additional mezzanine area to be added is 16,858 sf. Proposed building expansion of existing exterior north loading area total in 3,943 sf. Proposed exterior renovations include modified parking and loading dock on Northeast side of the building. Hours of operation and use of facility will stay as current operation.

7. If institutional, indicate the type and major function, square footage, anticipated hours of operation, estimated employees per shift and number of shifts, location of loading facilities and anticipated hours of loading/delivery operations, and community benefits to be derived from project:

Not applicable.

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8. If the project involves an exception, conditional use permit, or re-zoning application, state this and indicate clearly why the application is required:

Refer to attached.

---



---

### Potential Environmental Impacts

If any of the following items are applicable to your project please discuss (use a separate sheet as necessary).

	Yes	No
1. Change in existing features of any drainage ways or hills, or substantial alteration of any ground contours.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Change in scenic views or vistas from existing residential areas or public lands or roads.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Change in pattern, scale, or character of the general area of the project.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Result in significant amounts of solid waste or debris.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. Change in or introduction of air emissions (e.g., dust, ash, smoke, fumes) or odors in the vicinity during grading and/or construction phases.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Change in surface water (e.g., channel, stream) or ground water quality or quantity.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7. Substantial alteration of existing drainage patterns that could lead to flooding on- or offsite.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
8. Substantial change in noise or vibration levels in the project vicinity during grading and/or construction phases.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
9. Substantial change in traffic patterns and circulation in the project vicinity.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
10. Substantial change in topography of project site and/or vicinity.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. Site located on filled land or on slopes of 10 percent or more.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
12. Use or disposal of potentially hazardous materials, such as toxic substances, flammables, or explosives.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
13. Substantial change in demand for public services and utilities and service systems (police, fire, water, wastewater, solid waste, electricity, gas, etc.)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
14. Substantial increase in fossil fuel consumption (electricity, oil, natural gas, etc.)	<input type="checkbox"/>	<input checked="" type="checkbox"/>

*What studies have been prepared for this site that might assist the City in reviewing the potential environmental impacts of the project? Some examples of such studies include environmental site assessment, soils and geology study, biological resources study, cultural resources study, hydrology study, etc. These studies may have been prepared for this project or some earlier development project. Supporting documentation or studies may answer questions and facilitate the processing of your application.*

**Certification**

I am the legal owner of the property that is the subject of this application or have been authorized by the owner to act on his/her behalf regarding this application. I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and that the facts, statements, and information presented are true and correct to the best of my knowledge and belief. I further acknowledge that any false statements or information presented herein may result in the revocation of any approval or permit granted on the basis of this information.

Name of preparer: Harvard Card Systems

Preparer's signature:



Date:

1-21-15

ATTACHMENT  
(ZONE EXCEPTION APP)

G|A|A  
ARCHITECTS

RECEIVED

FEB 11 2015

CITY OF INDUSTRY

January 30, 2015

Mr. Brian James  
City of Industry  
15625 East Stafford Street #100  
City of Industry, CA 91744

Re: Development Plan Application: Harvard Card System - 111 Baldwin Park Blvd., Industry, CA  
Non-conforming existing conditions

Dear Brian,

Scope of Work:

1. Site: Landscape, ADA parking, truck maneuvering space, and two trash enclosures (one for waste, one for recycling)
2. Shell: North east dock extension, north building expansion with dock door, new walkway and stair.
3. Interior west area: one new approximately 13,455 sf storage mezzanine and approximately 13,455 sf recessed storage area below with ramps, stairs, service vertical lift. Approximately 6,452 sf of the mezzanine will be enclosed and air conditioned.
4. Interior east area: 3,403 sf pre-engineered mezzanine design-build. Provided pony walls at new lunch area.

Non-conforming existing condition petition:

1. Maximum building square footage: (Zoning Sect. 17.36.060 W) - Impacted  
The existing building floor area is 60.8% of lot area (includes existing mezzanine and north loading enclosure and south mech/storage area but excludes existing north non-enclosed canopy) which exceeds 50% per Development Guidelines. New mezzanine areas totaling 16,858 sf. and building expansion on the north 3,943 sf.- will bring building square footage totaling to 133,477 sf. and becomes 72.1% of lot area.
2. Parking stalls: (Zoning Sect. 17.36.060 K) - Impacted  
Required 184 parking stalls per proposed project.  
Provided 103 parking stalls which includes 89 on-site stalls, 14 new stalls on the north. There are also additional 14 tandem parking stalls on-site.
3. Landscape coverage: (Zoning Sect. 17.36.060 Q) - Impacted  
Required 12% - per Development Guidelines  
Provided 5.2% existing, plus Transformer 255sf. screening area totaling to 5.3% - Street trees to be added to current landscape area.

Harvard Card System  
City of Industry  
January 30, 2015

We appreciate your favorable consideration to approve the proposed scheme due to restrictive existing non-conforming conditions. Should you have any questions, please do not hesitate to contact me.

A handwritten signature in blue ink, appearing to read 'C. Williamson', with a stylized flourish at the end.

Craig Williamson  
Principal  
GAA ARCHITECTS, INC.

**Attachment 2**

**Existing Site Plan**

### KEYNOTES - SITE PLAN

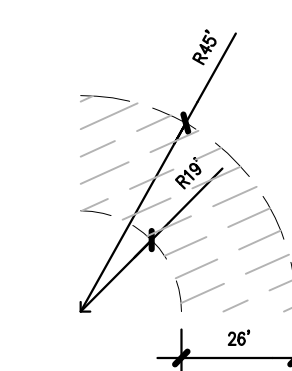
- 1.1 PROPERTY LINE / R.O.W.
- 1.2 ACCESSIBLE PATH OF TRAVEL
- 1.3 BUILDING EXPANSION
- 2.1 (E) TILT-UP CONCRETE WALL PANEL
- 2.2 (E) LANDSCAPE
- 2.3 (E) CONCRETE PAVING
- 2.4 (E) CONCRETE WALKWAY
- 2.5 (E) CONCRETE ACCESSIBLE RAMP
- 2.6 (E) PARKING STALLS
- 2.7 (E) ACCESSIBLE PARKING
- 2.8 (E) SCE TRANSFORMER/ EQUIPMENT
- 2.9 (E) LOADING DOCK
- 2.10 (E) CONCRETE RAMP
- 2.11 (E) CORRUGATED METAL FENCE
- 2.12 (E) EXISTING COVERED CANOPY AREA
- 2.13 (E) P.I.V.
- 2.14 (E) PROTECTION BOLLARD
- 2.15 (E) CHAIN GATE
- 2.16 (E) STRIPING FOR NO PARKING
- 2.17 (E) WAREHOUSE ACCESSIBLE PARKING PER PERMIT # BL1301300013
- 2.18 (E) CANOPY POST
- 3.1 CONCRETE STAIR W/ HANDRAIL AND 42" HIGH GUARDRAIL
- 5.1 BLOCK WALL NON-METAL WALL FINISH
- 5.2 48" HIGH CONCRETE FILLED STEEL PIPE PROTECTION BOLLARD UNO. PAINT SAFETY YELLOW
- 8.1 HOLLOW METAL MAN DOOR, PAINT TO MATCH BLDG. 3" WIDE X 7" HIGH
- 8.2 ROLL-UP COILING DOOR, 9' WIDE X10' HIGH
- 8.3 ROLL-UP COILING DOOR, 14' WIDE X12' HIGH
- 32.1 ADA RAMP
- 32.2 CONCRETE WALKWAY
- 32.3 CHAIN LINK FENCE
- 32.4 STANDARD PARKING STALL
- 32.5 ACCESSIBLE PARKING STALL
- 32.6 VAN ACCESSIBLE PARKING STALL
- 32.7 CONCRETE TRASH/RECYCLING ENCLOSURE 6'X10' WITH 6' HIGH WALL
- 32.8 SIGN ON GATE INDICATES GATE WILL BE OPEN DURING WORKING HOURS (PER OWNER'S OPERATION HOURS)
- 32.9 BULLETIN BOARD
- 32.10 BKE RACKS
- 32.11 5' MAX. HORIZONTAL OVERHANG
- 32.12 WROUGHT IRON PEDESTRIAN GATE
- 32.13 6' SIDEWALK CONSTRUCTED BY CITY

### GENERAL NOTES - SITE PLAN

- CITY OF INDUSTRY DEVELOPMENT GUIDELINES  
PARKING:
1. STANDARD STALL DIMENSIONS: 9'W X 19'D.
  2. COMPACT STALL 8'W X 16'D.
  3. MIN. AISLE WIDTH 26'.

- ACCESSIBLE PATH OF TRAVEL
- ▨ FIRE LANE
- (E) LANDSCAPE AREA, REFER TO LANDSCAPE DRAWINGS
- ▭ SCOPE OF WORK
- (N) NON-CONFORMING PARKING
- (C) COMPACT PARKING
- (CP) VANPOOL/CARPOOL PARKING

### FIRE DEPARTMENT STANDARDS



### SCREEN WALL AND FENCE LEGEND

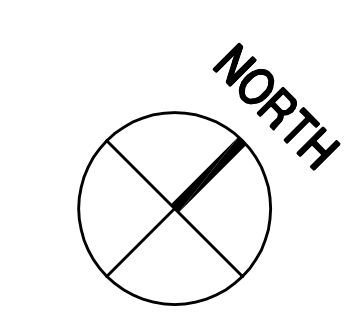
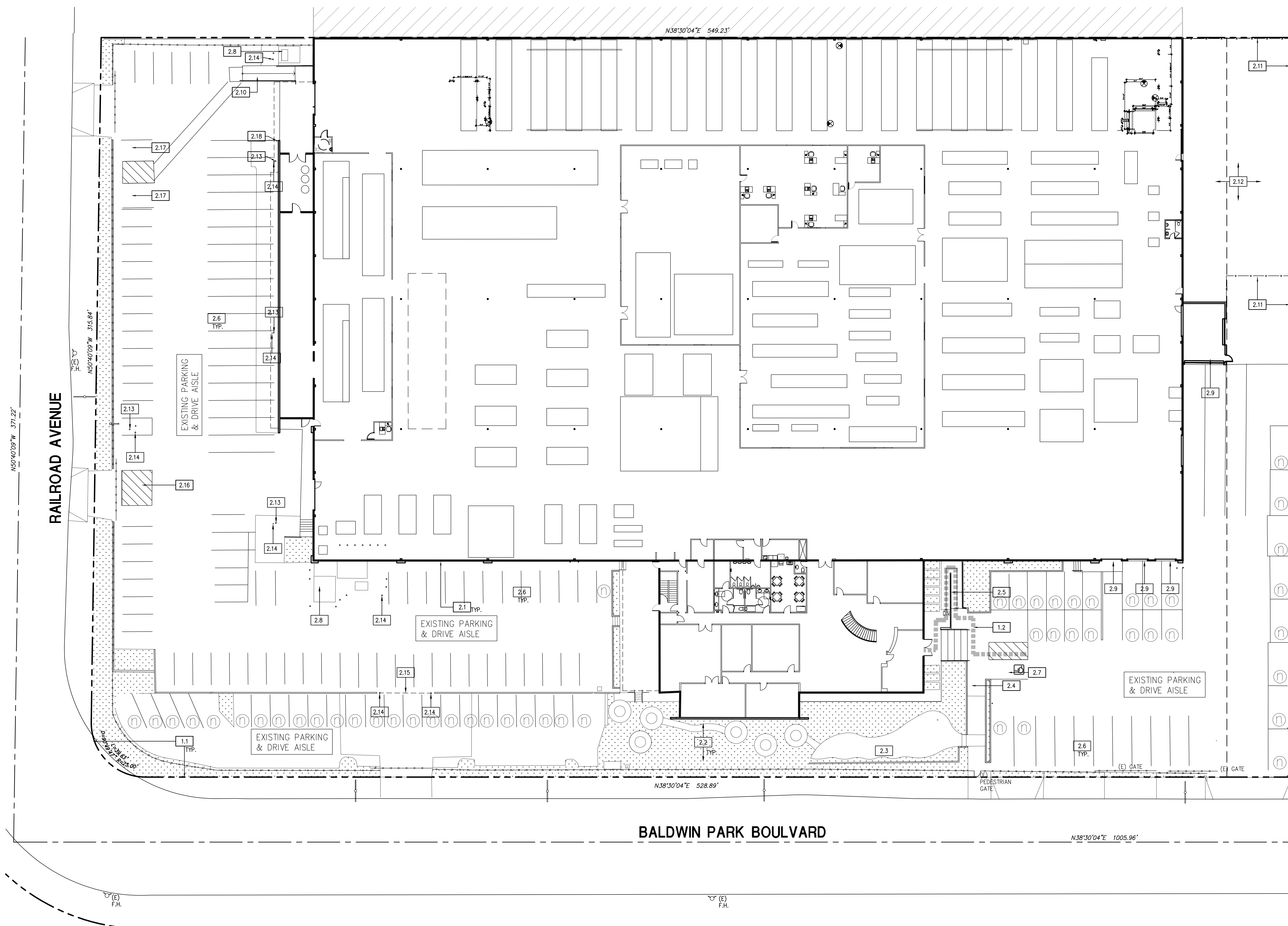
- (E) WROUGHT IRON FENCE
  - (E) SLIDING WROUGHT IRON GATE
  - (E) CHAIN LINK FENCE
  - (E) WROUGHT IRON FENCE ON LOW BLOCK WALL
  - (E) CORRUGATED METAL FENCE
- NOTE: (E) EXISTING

NO.	DESCRIPTION	DATE
△	ENTITLEMENT SUBMITTAL	11/21/14
△	DEMOLITION SUBMITTAL	01/09/14
△	ENTITLEMENT RESUBMITTAL	01/22/15
△	ENTITLEMENT 2ND RESUBMITTAL	01/29/15
△	ENTITLEMENT 2ND RESUBMITTAL UPD	02/19/15

SITE PLAN  
EXISTING

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND THE SAME MAY NOT BE REPRODUCED, USED OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF THE ARCHITECT.  
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JOB NO. XBC017.01	SHEET NO.
DATE: 09/04/14	A1.2
DRAWN: GAA	
FILE NAME: XBC017_A1.2	





# **Attachment 3**

## **Proposed Site Plan**

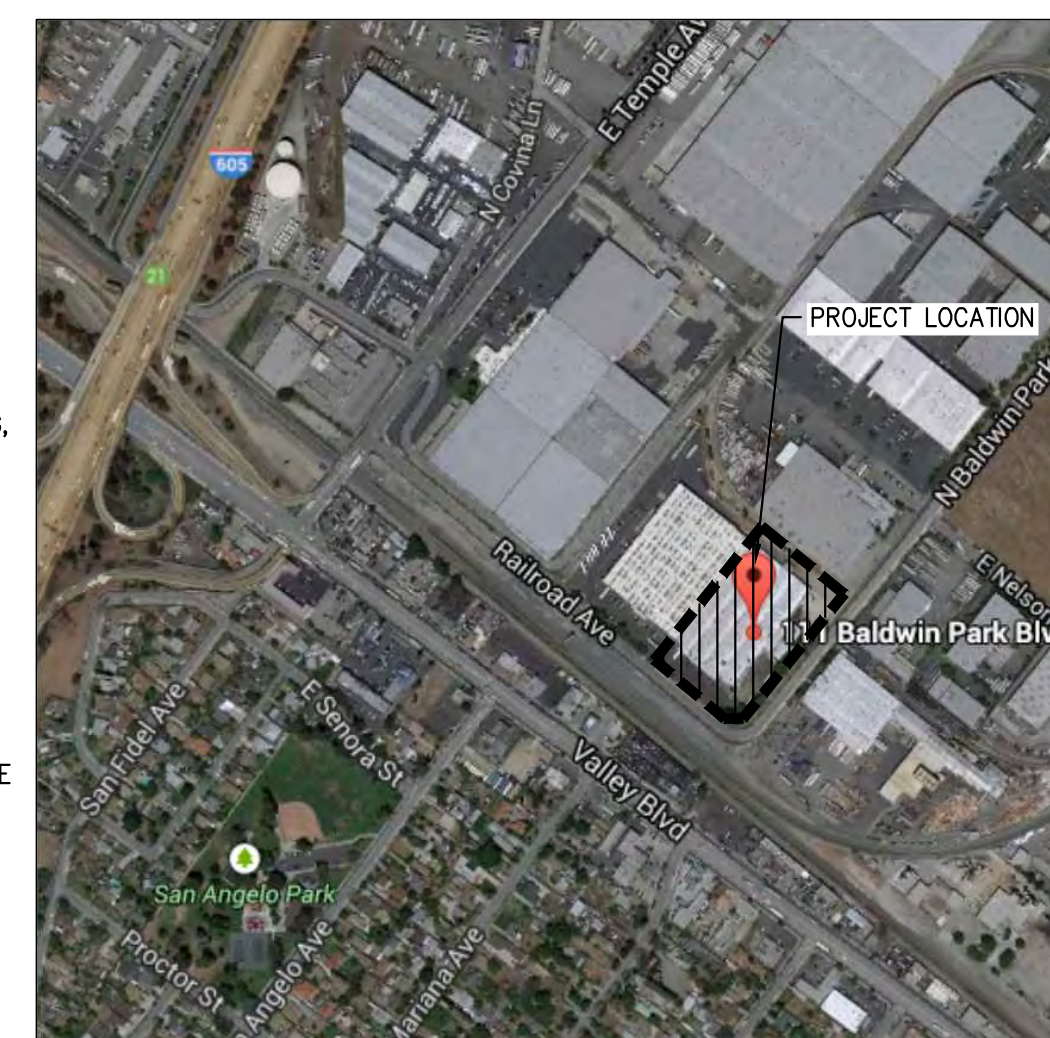
Site Area	sf	Acres
Existing Building Area	185,200	4.25
Ground Floor	8,033	
Office	3,403 (east warehouse)	
Manufacturing	76,418	
Warehouse	22,279	
Total Ground Floor Office	106,730	
Mezz. office	5,221	
Mezz. warehouse	725	
Existing Subtotal	112,676	
Warehouse Expansion	3,943 (north/warehouse)	
Total Existing Area	133,477 (excludes stair area at mezz)	
Converage	57.6%	59.8%
FAR	60.8%	72.1%
Required Parking		
0-25,000 sf	1/500	50
25,000 to 100,000 sf	1/750	100
100,000+ sf	1/1000	34
Total Required Parking	1,441/1000	184
Existing Parking	0.85/1000	96 (+51 non-conforming)
Restriping Parking		
Standard		14
Compact		87
Tandem		14
Off-Site Parking		0
Total Parking Provided		115
Landscaping Required	12.0%	22,224
(E) Landscaping Provided	5.2%	9,538
Landscaping Provided	5.2%	9,606

BUILDING INFORMATION					
OCCUPANCY:	F-1	B	S-1	0	
ALLOWABLE HEIGHT/STORY (MAX):					75 FT. 4 STORIES
TYPE OF CONSTRUCTION:	IIB FULLY SPRINKLED				
ALLOWABLE AREA	F-1	B	S-1	0	
A <sub>1</sub> =(A)(X)(H) + (A)(X)(L) PER FLOOR	55,320 S.F.	87,590 S.F.	80,675 S.F.	0 S.F.	
COMBINED TOTAL ALLOWABLE AREA*	55,320 S.F.	87,590 S.F.	80,675 S.F.	0 S.F.	
A <sub>2</sub> = TAILOR AREA (PER T. 503)	12,000 S.F.	19,000 S.F.	17,500 S.F.	0 S.F.	
1. INCREASED BY FRONTAGE: # (REFER TO TABLE BELOW FOR CALC) (MAX. 75%, OR 150% W/ SECT. 506.2.1 EXCEPT.)					0.61
# = F/F - 0.25/W/30					813.9 FT.
F = BLDG. PERIMETER FRONT'S MIN. 20' O.S.					1,357.4 FT.
P = ENTIRE BLDG. PERIMETER					52.0 FT.
W = WEIGHTED WIDTH OF OS OR PUBLIC WAY					59.95%
F <sub>1</sub> % =					
2. INCREASED BY SPRINKLER					3
ACTUAL AREA (CBC GFA): MIXED OCCUPANCY - SEPARATED					
OCCUPANCY	F-1	B	S-1	0	SUB-TOTAL
1FL GROSS FLOOR AREA	76,418 S.F.	8,033 S.F.	26,222 S.F.	0 S.F.	110,673 S.F.
RATIO	1.3814	0.0918	0.3251	0	1.7983 Over size
SUB-TOTAL	76,418 S.F.	8,033 S.F.	26,222 S.F.	0 S.F.	110,673 S.F.
MIFL GROSS FLOOR AREA	6,452 S.F.	5,221 S.F.	11,131 S.F.	0 S.F.	22,804 S.F.
TOTAL	82,870 S.F.	13,254 S.F.	37,353 S.F.	0 S.F.	133,477 S.F.

NOTE:  
1. FLOOR AREA INCLUDES THE BUILDING EXPANSION 3,943 SF AND NEW MEZZANINE 16,858 SF.  
2. PER CBC SECT. 505.2, MEZZANINE SHALL NOT CONTRIBUTE TO EITHER THE BUILDING AREA OR NUMBER OF STORIES PER SECT. 503.1.

DRAWING INDEX:	
A1.1	SHEET INDEX, TABULATION, SITE PLAN
A1.2	SITE PLAN - EXISTING
A2.1	FLOOR PLAN
A4.1	ELEVATIONS
A5.1	SECTIONS W/ PHOTOS
C1	TOPOGRAPHIC SURVEY
L1	LANDSCAPE CONCEPTUAL SITE PLAN

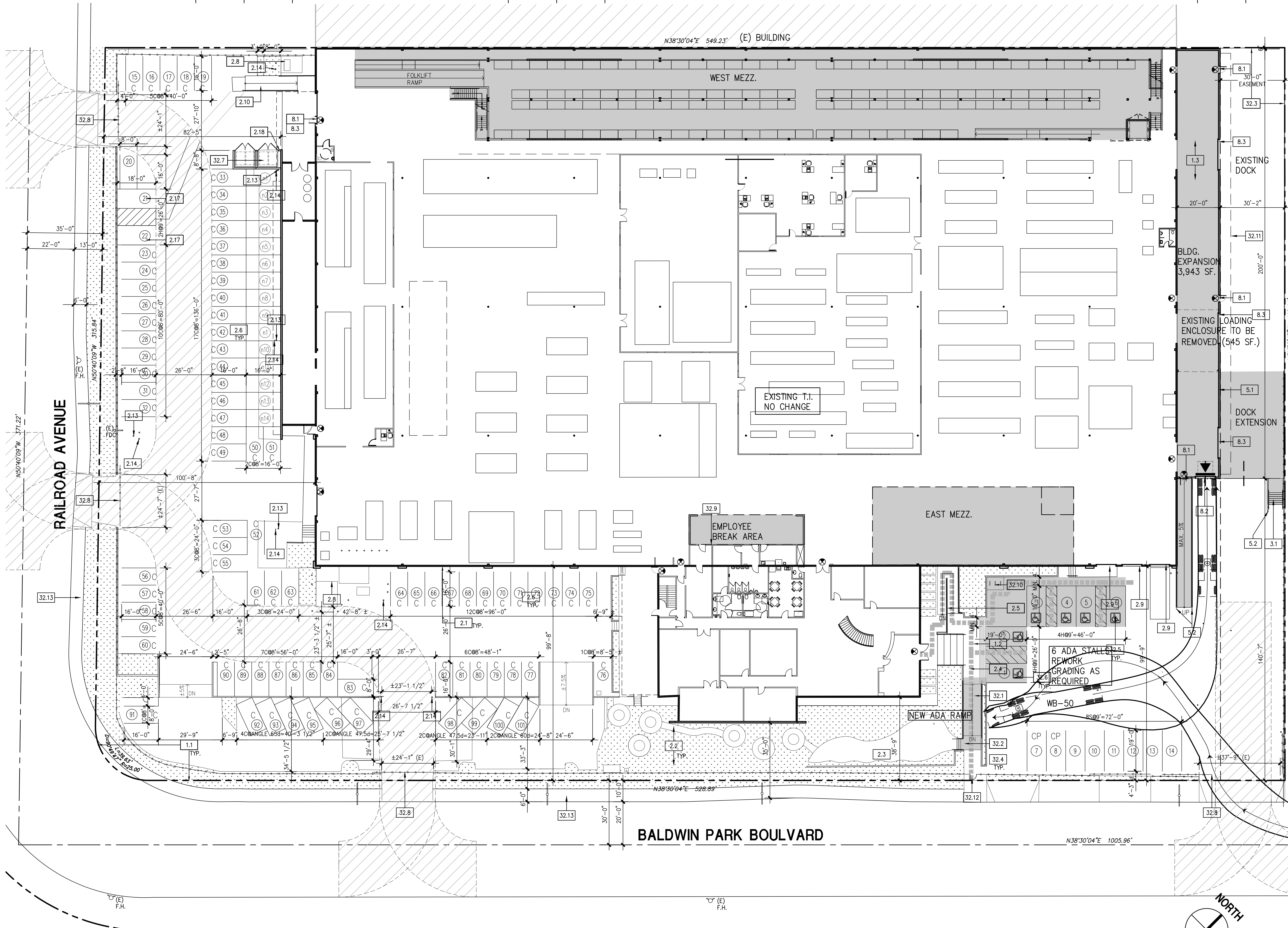
SCOPE OF WORK:  
1. SITE: LANDSCAPE, ADA PARKING, TRUCKS MANEUVERING, AND TWO TRASH ENCLOSURES.  
2. SHELL: NORTH EAST DOCK EXTENSION, EXISTING BUILDING EXPANSION ON THE NORTH WITH DOCK, DOORS, STAIR AND WALKWAY, CHAINLINK FENCE AT NORTH AND WEST PL. AROUND SHIPPING AREA.  
3. INTERIOR WEST AREA: NEW STORAGE MEZZANINE AND RECESSED STORAGE AREA TOTALING APPROXIMATELY 13,455 SF EACH. RECESSED STORAGE AREA WILL INCLUDE RAMP, STAIRS, AND SERVICE VERTICAL LIFT. APPROXIMATELY 6,452 SF OF THE STORAGE MEZZANINE WILL BE ENCLOSED AND AIR CONDITIONED.  
4. INTERIOR EAST AREA: 3,403 SF PRE-ENGINEERED MEZZANINE, DESIGN-BUILD. PROVIDE PONY WALLS AT NEW LUNCH AREA.



TABULATION NTS 4

CODE ANALYSIS NTS 3

VICINITY MAP NTS 2



- ### KEYNOTES - SITE PLAN
- PROPERTY LINE/ R.O.W.
  - ACCESSIBLE PATH OF TRAVEL
  - BUILDING EXPANSION
  - (E) TILT-UP CONCRETE WALL PANEL
  - (E) LANDSCAPE
  - (E) CONCRETE PAVING
  - (E) CONCRETE WALKWAY
  - (E) CONCRETE ACCESSIBLE RAMP
  - (E) PARKING STALLS
  - (E) ACCESSIBLE PARKING
  - (E) SEC. TRANSPORTER/ EQUIPMENT
  - (E) LOADING DOCK
  - (E) CONCRETE RAMP
  - (E) CORRUGATED METAL FENCE
  - (E) EXISTING COVERED CANOPY AREA
  - (E) P.I.V.
  - (E) PROTECTION BOLLARD
  - (E) CHAIN GATE
  - (E) STRIPING FOR NO PARKING
  - (E) WAREHOUSE ACCESSIBLE PARKING PER PERMIT # BL1301300013
  - (E) CANOPY POST
  - CONCRETE STAIR W/ HANDRAIL AND 42" HIGH GUARDRAIL
  - BLOCK WALL NON-METAL WALL FINISH
  - 48" HIGH CONCRETE FILLED STEEL PIPE PROTECTION BOLLARD UNO. PAINT SAFETY YELLOW
  - HOLLOW METAL MAN DOOR, PAINT TO MATCH BLDG. 3' WIDE X 7' HIGH
  - ROLL-UP COILING DOOR, 9' WIDE X10' HIGH
  - ROLL-UP COILING DOOR, 14' WIDE X12' HIGH
  - ADA RAMP
  - CONCRETE WALKWAY
  - CHAIN LINK FENCE
  - STANDARD PARKING STALL
  - ACCESSIBLE PARKING STALL
  - VAN ACCESSIBLE PARKING STALL
  - CONCRETE TRASH/RECYCLING ENCLOSURE 8'X10' WITH 6' HIGH WALL
  - SIGN ON GATE INDICATES GATE WILL BE OPEN DURING WORKING HOURS (PER OWNER'S OPERATION HOURS)
  - BULLETIN BOARD
  - BIKE RACKS
  - 5' MAX. HORIZONTAL OVERHANG
  - WROUGHT IRON PEDESTRIAN GATE
  - 6' SIDEWALK CONSTRUCTED BY CITY

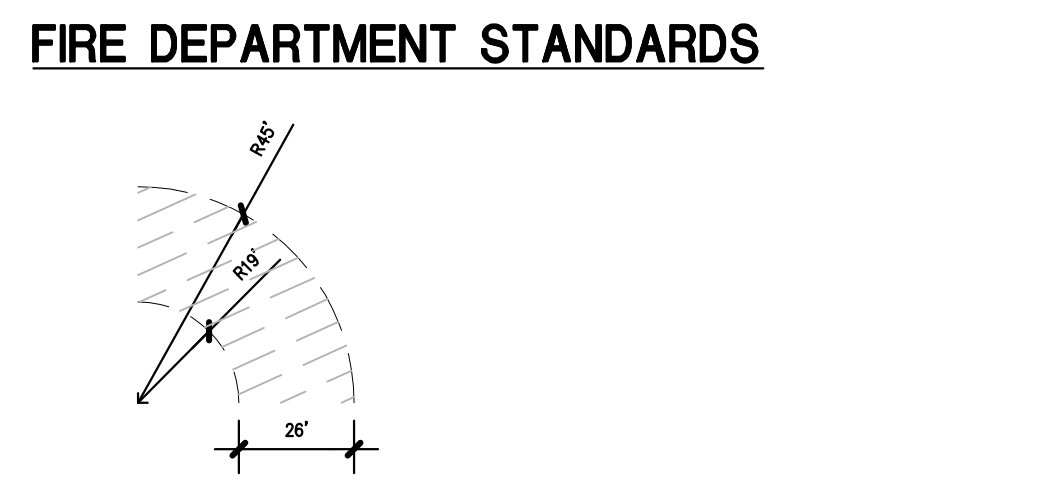
### GENERAL NOTES - SITE PLAN

CITY OF INDUSTRY DEVELOPMENT GUIDELINES

PARKING:

- STANDARD STALL DIMENSIONS: 9'W X 19'D.
- COMPACT STALL 8'W X 16'D.
- MIN. AISLE WIDTH 26'.

- ACCESSIBLE PATH OF TRAVEL
- FIRE LANE
- (E) LANDSCAPE AREA, REFER TO LANDSCAPE DRAWINGS
- SCOPE OF WORK
- NON-COMFORMING PARKING
- COMPACT PARKING
- VANPOOL/CARPOOL PARKING



- ### SCREEN WALL AND FENCE LEGEND
- (E) WROUGHT IRON FENCE
  - (E) SLIDING WROUGHT IRON GATE
  - (E) CHAIN LINK FENCE
  - (E) WROUGHT IRON FENCE ON LOW BLOCK WALL
  - (E) CORRUGATED METAL FENCE
- NOTE: (E) EXISTING

# GAA ARCHITECTS

8811 Research Drive,  
Suite 200,  
Irvine, CA 92618  
T: 949 474 1775  
F: 949 553 9133

HARVARD CARD SYSTEM  
111 BALDWIN PARK BLVD.  
CITY OF INDUSTRY, CA  
DEVELOPED FOR:  
KEBEC BUILDING COMPANY

NO.	DESCRIPTION	DATE
△	ENTITLEMENT SUBMITTAL	11/21/14
△	DEMOLITION SUBMITTAL	01/09/14
△	ENTITLEMENT RESUBMITTAL	01/22/15
△	ENTITLEMENT 2ND RESUBMITTAL	01/29/15
△	ENTITLEMENT 2ND RESUBMITTAL UPD	02/19/15

SITE PLAN

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND THE SAME MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF THE ARCHITECT.  
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JOB NO.	XBC017.01	SHEET NO.
DATE:	09/04/14	A1.1
DRAWN:	GAA	
FILE NAME:	XBC017_A1.1	

SITE PLAN 1"=20'-0" 1

# **Attachment 4**

## **Conceptual Landscape Plan**



**PROPOSED PLANT MATERIAL**



**NOTE:**  
ALL EXISTING PARKWAY TURF SHALL RECEIVE "GROW AND KILL"  
TREATMENT: SOIL ROTOTILLED AND AMENDED TO 6" DEPTH  
PRIOR TO REPLANTING.

**EXISTING SITE CONDITIONS**



NO.	DESCRIPTION	DATE
△	ENTITLEMENT RESUBMITTAL	01/22/15
△	ENTITLEMENT 2ND RESUBMITTAL	01/29/15
△	ENTITLEMENT 2ND RESUBMITTAL UPD	02/19/15

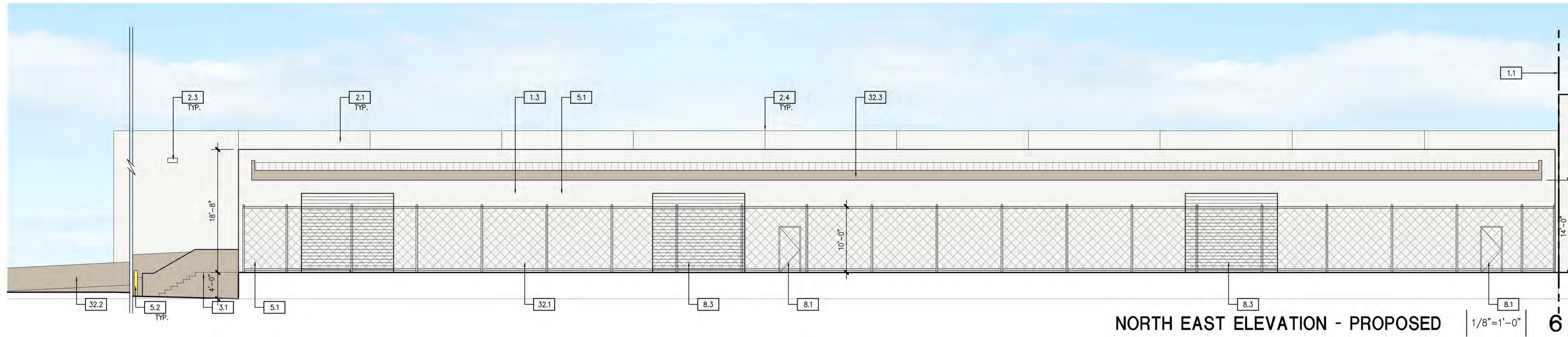
**LANDSCAPE CONCEPTUAL SITE PLAN**

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN  
CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE  
ARCHITECT AND THE SAME MAY NOT BE DUPLICATED, USED OR  
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JOB NO:	XBC017.01	SHEET NO:	
DATE:	02/17/15		
DRAWN:	BGB		
FILE NAME:			

# **Attachment 5**

## **Proposed Elevations**



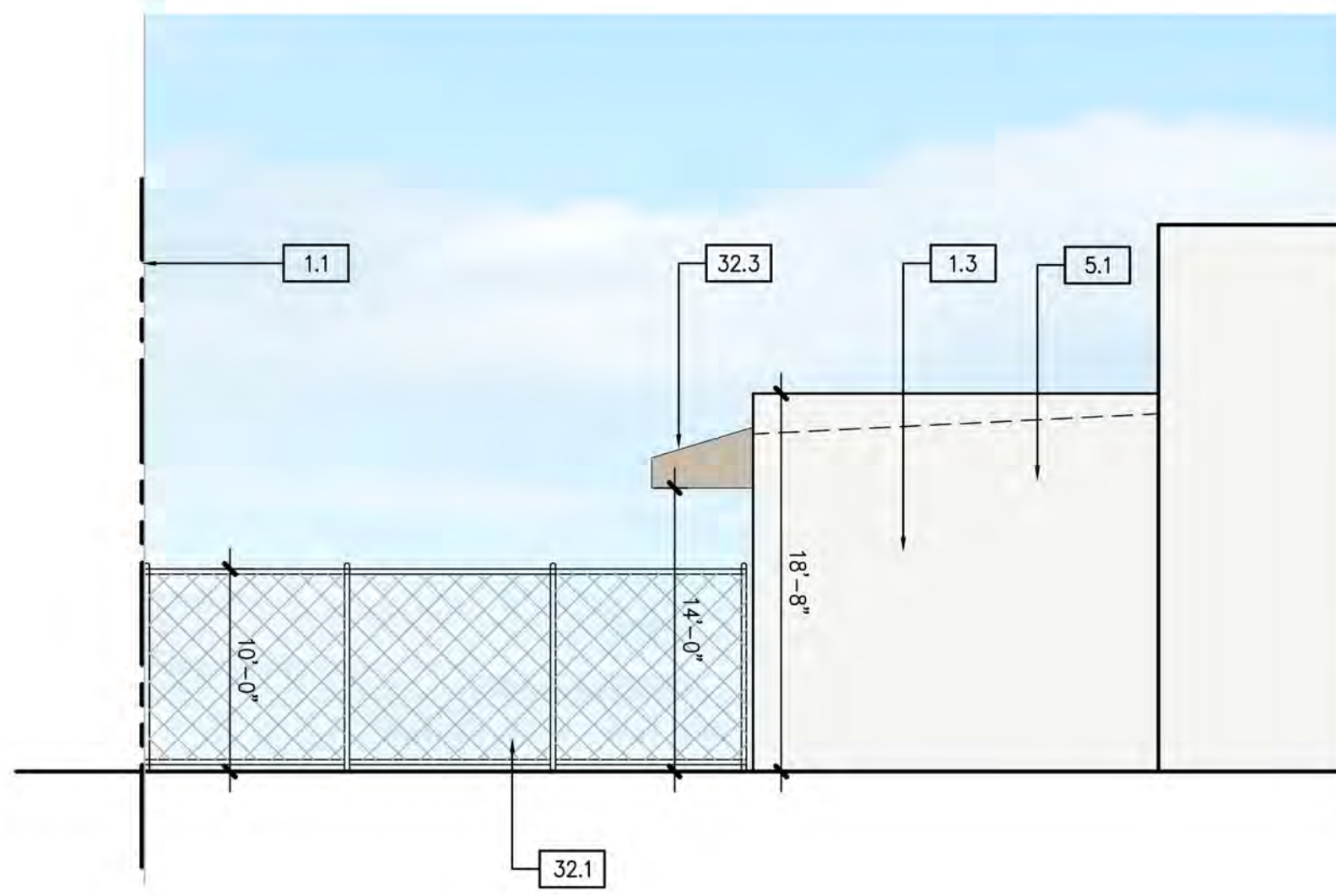
NORTH EAST ELEVATION - PROPOSED | 1/8"=1'-0" | 6

**KEYNOTES - ELEVATION**

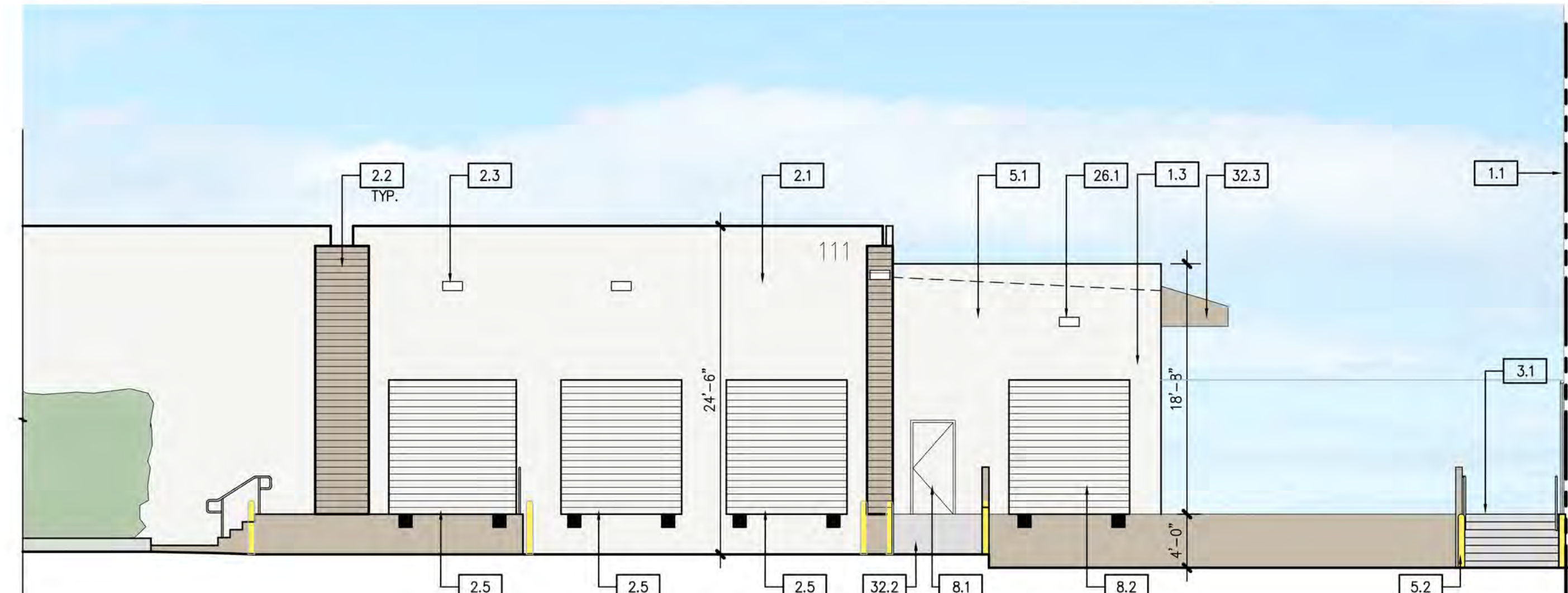
- 1.1 PROPERTY LINE/ R.O.W.
- 1.3 BUILDING EXPANSION
- 2.1 (E) TILT-UP CONCRETE WALL PANEL
- 2.2 (E) EXISTING ACCENT BRICK VENEER
- 2.3 (E) EXISTING LIGHTING FIXTURE
- 2.4 (E) PANEL JOINT
- 2.5 (E) LOADING DOCK
- 2.6 (E) CORRUGATED METAL FENCE TO BE REMOVED
- 2.7 (E) CONCRETE BLOCK WALL ENCLOSURE TO BE REMOVED
- 2.8 (E) COVERED CANOPY AND METAL FRAME TO BE REMOVED
- 3.1 CONCRETE STAIR W/ HANDRAIL AND 42" HIGH GUARDRAIL
- 5.1 BLOCK WALL NON-METAL WALL FINISH, PAINT TO MATCH EXISTING WHITE WALL
- 5.2 48" HIGH CONCRETE FILLED STEEL PIPE PROTECTION BOLLARD UNO. PAINT SAFETY YELLOW
- 8.1 HOLLOW METAL MAN DOOR, PAINT TO MATCH BLDG. 3' WIDE X 7' HIGH
- 8.2 ROLL-UP COILING DOOR, 9' WIDE X10' HIGH
- 8.3 ROLL-UP COILING DOOR, 14' WIDE X12' HIGH
- 26.1 (N) LIGHTING FIXTURE, WHITE FINISH
- 32.1 CHAIN LINK FENCE
- 32.2 CONCRETE WALKWAY
- 32.3 5' MAX. HORIZONTAL OVERHANG, PAINT TO MATCH (E) FRONT OFFICE METAL PANEL

**COLOR SCHEDULE / MATERIALS**

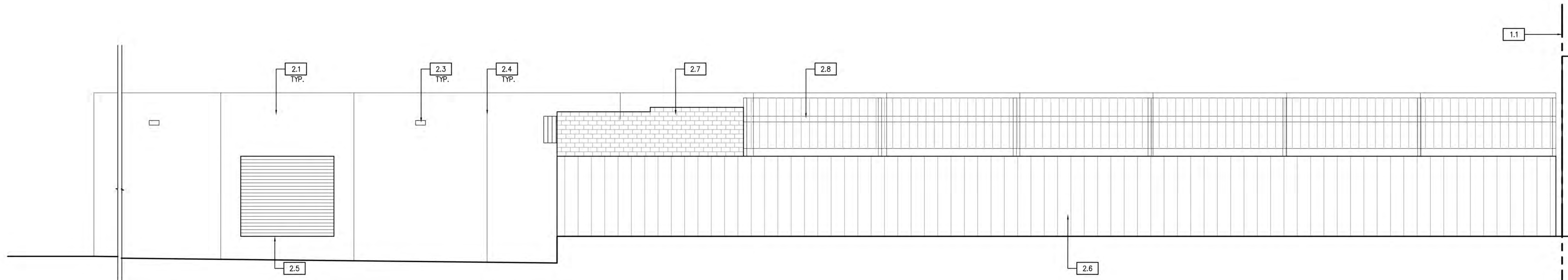
- 1. RECENTLY PAINTED (E) STOREFRONT TO REMAIN
- 2. REPAINT EXISTING BUILDING WHITE WALLS TO MATCH EXISTING WHITE
- 3. REPAINT ROLL-UP DOORS AND EXTERIOR HOLLOW METAL DOORS TO MATCH BUILDING WHITE WALL
- 4. TOUCH UP PAINT EXISTING BRICK PAINTS AS REQUIRED TO MATCH EXISTING
- 5. REPAINT EXISTING CANOPY FASCIA TO MATCH OFFICE METAL PANEL
- 6. PAINT SIDE FACE OF RAISED PLATFORM TO MATCH OFFICE METAL PANEL
- 7. REPAIR AND REPAINT EXISTING PERIMETER WROUGHT IRON FENCE BLACK TO MATCH THE EXISTING
- 8. REPAIR EXISTING BRICK FENCE WALL AT SITE SW GATE
- 9. BUILDING EXPANSION BLOCK WALL, PAINT TO MATCH EXISTING WHITE WALL COLOR, OVERHANG FASCIA PAINT TO MATCH OFFICE METAL PANEL



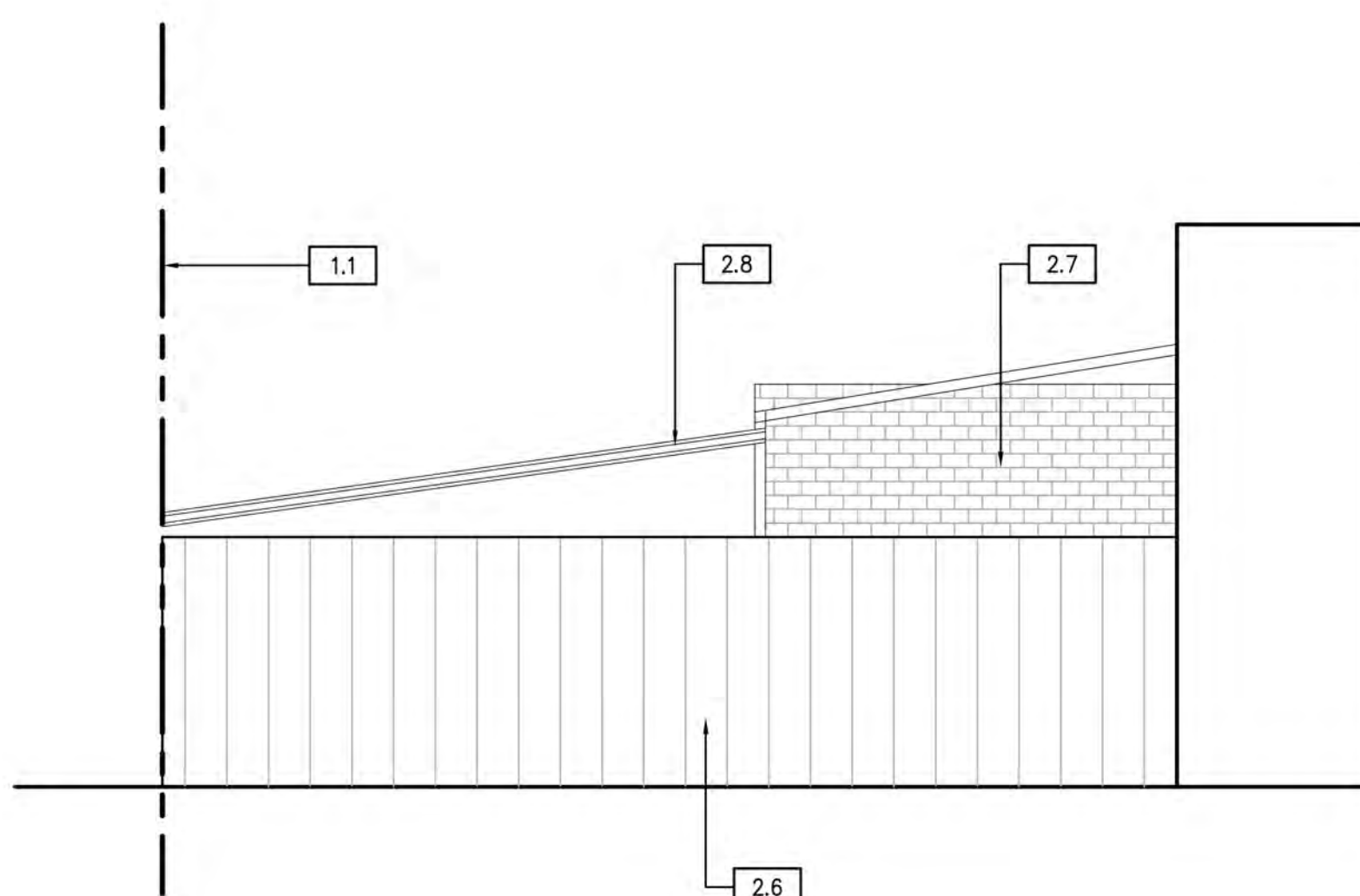
NORTH WEST ELEVATION - PROPOSED | 1/8"=1'-0" | 5



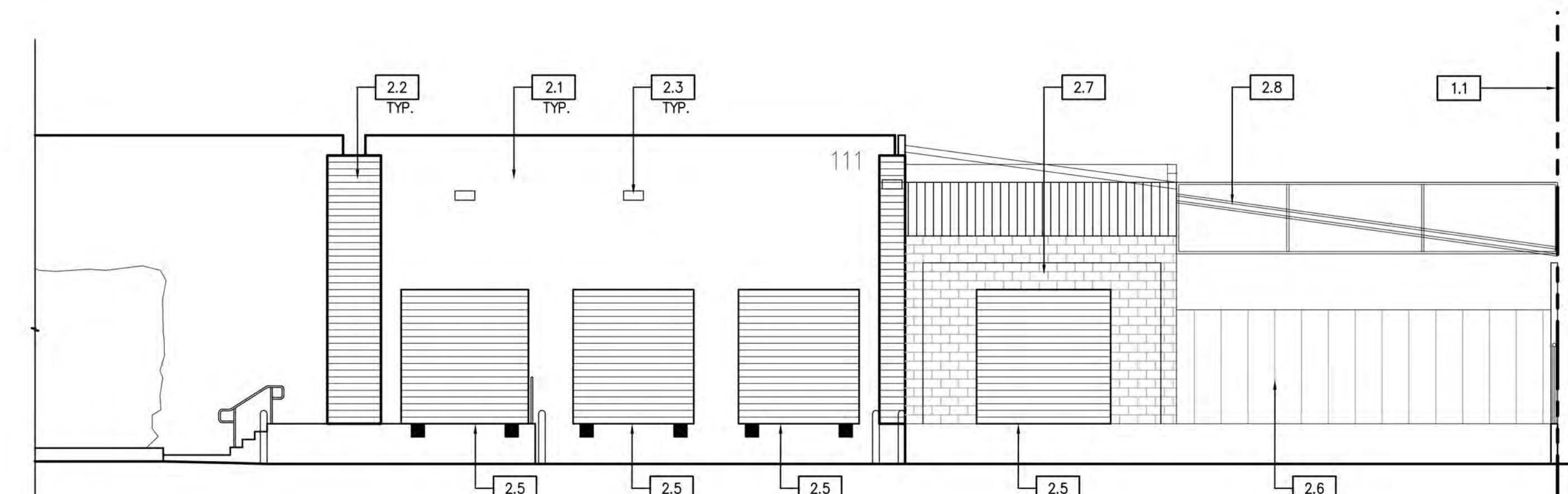
SOUTH EAST ELEVATION - PROPOSED | 1/8"=1'-0" | 4



NORTH EAST ELEVATION -EXISTING | 1/8"=1'-0" | 3



NORTH WEST ELEVATION -EXISTING | 1/8"=1'-0" | 2



SOUTH EAST ELEVATION -EXISTING | 1/8"=1'-0" | 1

NO.	DESCRIPTION	DATE
▲	ENTITLEMENT SUBMITTAL	11/21/14
▲	DEMOLITION SUBMITTAL	01/09/14
▲	ENTITLEMENT RESUBMITTAL	01/22/15
▲	ENTITLEMENT 2ND RESUBMITTAL	01/29/15

**BUILDING  
EXTERIOR ELEVATIONS**

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4D



4C



4B

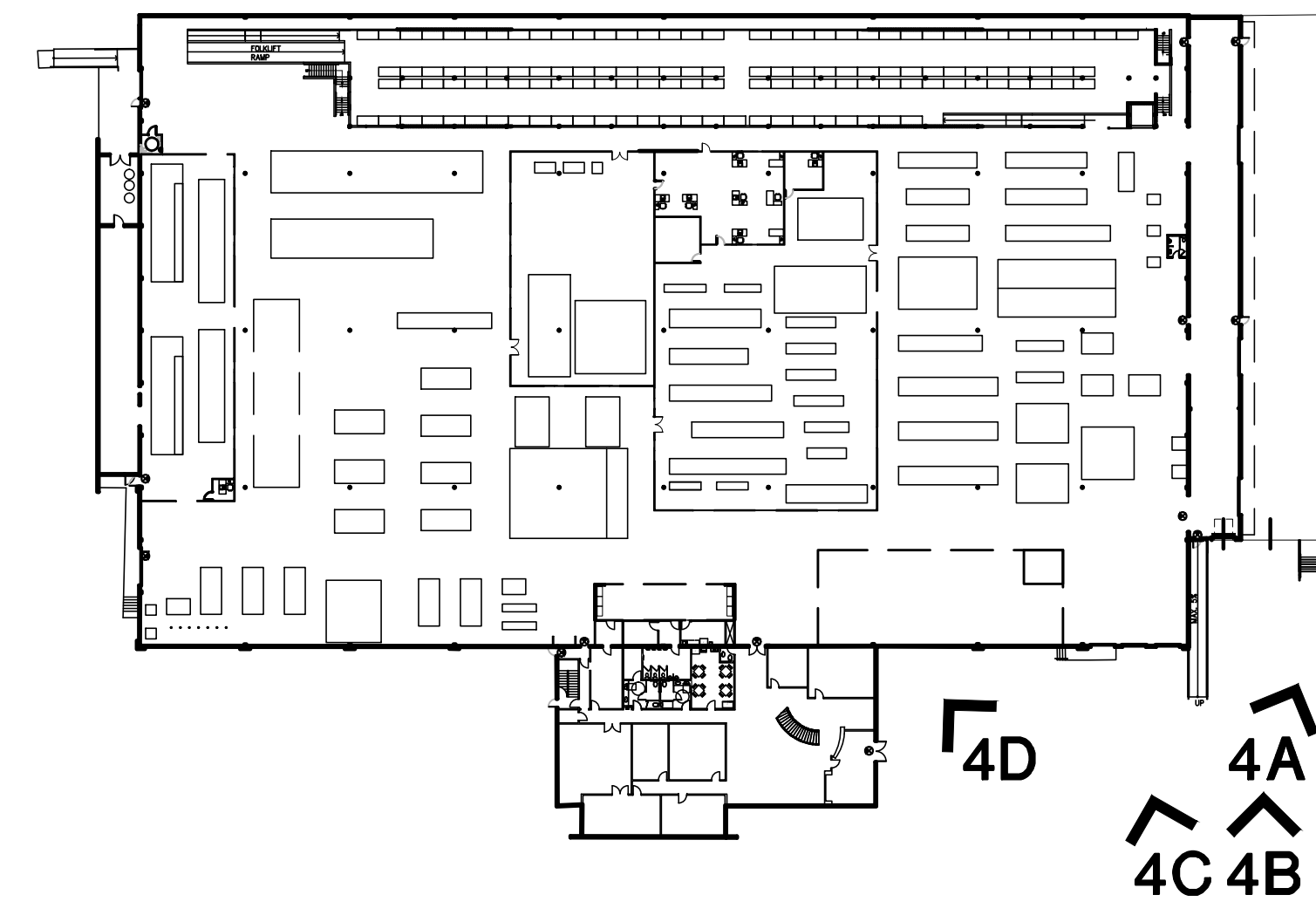


4A

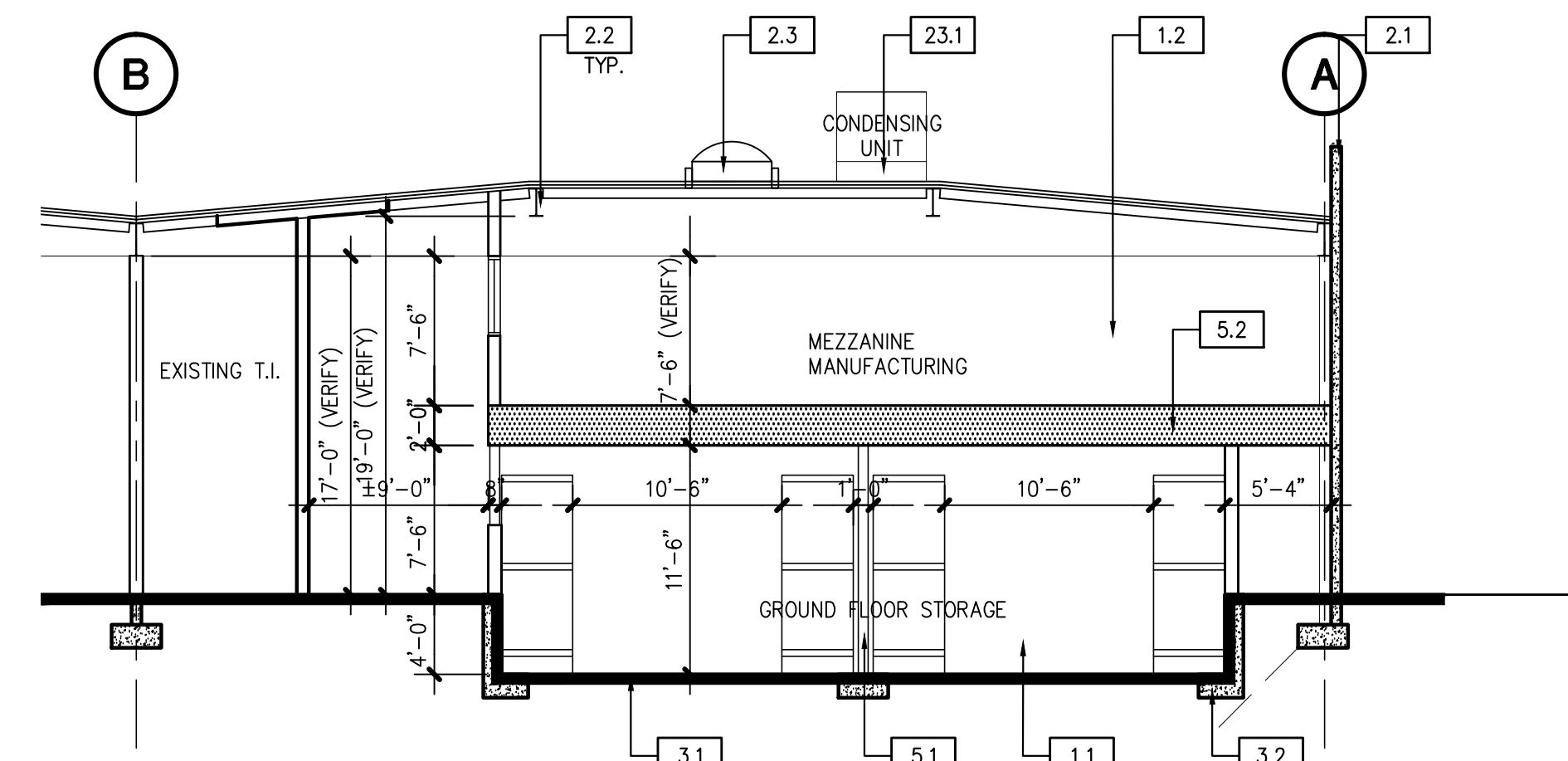
EXISTING BUILDING PHOTOS | NTS | 4

**KEYNOTES - SECTION**

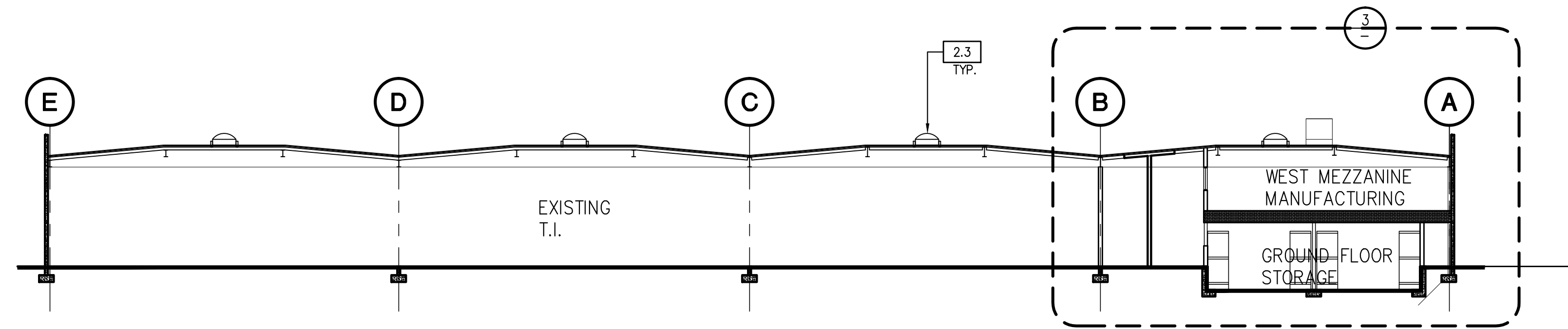
- 1.1 PROPOSED GROUND FLOOR STORAGE
- 1.2 PROPOSED MEZZANINE
- 1.3 BUILDING EXPANSION
- 2.1 (E) TILT-UP CONCRETE WALL PANEL
- 2.2 (E) ROOF FRAMING MEMBER
- 2.3 (E) ROOF SKYLIGHT
- 3.1 CONCRETE FLOOR SLAB
- 3.2 CONCRETE FOUNDATION
- 3.3 CONCRETE RAMP FOR FORKLIFT
- 5.1 STRUCT. STEEL COLUMN FOR MEZZANINE
- 5.2 MEZZANINE FLOOR STRUCTURE
- 23.1 HVAC UNIT ON THE ROOF
- 32.3 5' MAX. HORIZONTAL OVERHANG



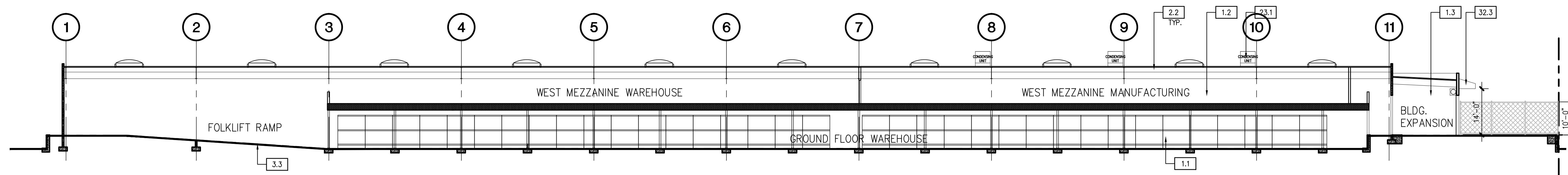
KEYPLAN



ENLARGED SECTION | 1/8"=1'-0" | 3



SECTION AA | 1/16"=1'-0" | 2



SECTION BB | 1/16"=1'-0" | 1



8811 Research Drive,  
Suite 200,  
Irvine, CA 92618  
T: 949 474 1775  
F: 949 553 9133

HARVARD CARD SYSTEM

111 BALDWIN PARK BLVD.  
CITY OF INDUSTRY, CA

DEVELOPED FOR:  
XEBEC BUILDING COMPANY

NO.	DESCRIPTION	DATE
△	ENTITLEMENT SUBMITTAL	11/21/14
△	DEMOLITION SUBMITTAL	01/09/14
△	ENTITLEMENT RESUBMITTAL	01/22/15
△	ENTITLEMENT 2ND RESUBMITTAL	01/29/15

WALL SECTIONS PHOTOS

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND THE SAME MAY NOT BE REPRODUCED, USED OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF THE ARCHITECT.  
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JOB NO. XBC017.01	SHEET NO.
DATE 09/04/14	<b>A5.1</b>
DRAWN GAA	
FILE NAME XBC017_AS.1	

# **Attachment 6**

## **Location Map**



# DP 14-11 Location Map



# **Attachment 7**

## **City of Los Angeles Parking Standards**



## INFORMATION BULLETIN / PUBLIC - ZONING CODE

REFERENCE NO.: L.A.M.C. 12.21A5 Effective: 10-01-1999  
DOCUMENT NO.: P/ZC 2002-001 Revised: 10-27-2014  
Previously Issued As: IB ZO-1, RGA 3-72

P/ZC 2002-001

### PARKING DESIGN

#### I. GENERAL REQUIREMENTS

##### A. STALL WIDTHS

1. Minimum 8 ft 6 inches wide for standard stalls serving dwelling units.
2. Minimum 8 ft 4 inches wide for all other standard stalls.
3. Minimum 8 ft 0 inches wide for all parallel parking standard stalls.
4. Minimum 7 ft 6 inches wide for all compact stalls.
5. For disabled access stall widths and other requirements, refer to Information Bulletin P/BC 2008-084.
6. Stall widths must be increased 10 inches for obstructions, except for stalls serving single family dwellings and duplexes, as shown in Figures 8 & 9 and shall be increased for end stall conditions as shown in Figures 2 and 3 in section N. For purposes of determining increases for obstructions, property lines shall be considered as obstructions. No increase for obstructions is required for parallel parking stalls.

##### B. STALL DEPTHS

1. Minimum 18 feet deep for all standard stalls.
2. Minimum 15 feet deep for all compact stalls.
3. Minimum 26 feet deep for all standard parallel stalls and 30 feet deep for end parallel stalls.
4. Minimum 23 feet deep for all compact parallel stalls and 27 feet deep for end parallel stalls.

##### C. COMPACT PARKING SPACES PERMITTED

In parking areas or garages containing 10 or more spaces for other than dwelling uses, up to 40% of the total required parking spaces and 100% of the non-required parking spaces may be compact. For dwelling uses, all parking stalls in excess of one stall per unit may be compact. Unless specified otherwise, required guest parking spaces may be compact spaces.

##### D. ACCESS AISLE AND PARKING BAY WIDTHS

1. The basic access aisle and parking bay widths for compact and standard stalls are shown in Tables 1 through 6.

2. Parking bay dimensions shall be determined using the required basic stall width before required increases for obstructions. Where required and non-required stalls are intermixed in a bay, the width of the bay shall be the larger of the bay widths shown in the tables for the required and non-required stalls. Where single access is provided for both entrance and exit to a parking bay and the bay contains 25 stalls or less, the bay may be designed using one-way traffic tables. Where the number of stalls exceeds 25 and single access for entrance is provided, the bay widths shall be determined using the two-way traffic tables.

##### E. TANDEM PARKING STALLS

1. Tandem parking stalls are permitted in public garages and public parking areas providing an attendant. A "Covenant and Agreement to Provide Parking Attendant" will be required.
2. Tandem stalls are permitted in private parking garages and private parking areas provided:
  - a. At least one parking stall per dwelling unit and all stalls required for any guest parking shall be individually and easily accessible.
  - b. At least one standard stall per dwelling unit shall be provided.
3. Tandem parking shall be limited to a maximum of two cars in depth except for additional parking required in accordance with Section 12.21A17(h).
4. When determining access aisle widths for tandem parking having both standard and compact stalls in tandem, the aisle widths for standard stalls shall be used.

##### F. PARKING STALL LOCATION

1. Each parking stall shall be so located that no automobile is required to back into any public street or sidewalk to leave the parking stall, parking bay, or driveway, except where such parking stalls, parking bays, or driveways serve not more than two dwelling units and where the driveway access is to a street other than a major or secondary highway.
2. No automobile parking space shall be provided or maintained within the required front yard of an A or R zoned lot except for additional parking provided in accordance with Section 12.21A17(h).
3. No parking stall may be located within a 5 foot side yard along the side street lot line of an A or R zoned corner lot.

##### G. DRIVEWAY WIDTHS AND LOCATIONS

1. Department of Transportation approval for the location of the driveways shall be obtained on lots located in a P (including any combination with an A or R Zone) or PB Zone, for all residential driveways serving two or more dwelling units which front on major and secondary highways and for all new driveways serving all other uses.
2. 9 ft. minimum in the A, RE, RS, R1, RU, RZ, R2, RMP and RW Zones.
3. 10 ft. minimum in all other zones and when serving an apartment house in the R2 Zone.

TABLE 5A: PARKING BAY DIMENSIONS FOR COMPACT CARS - REQUIRED STALLS

REQUIRED STALLS					
ONE WAY TRAFFIC			TWO WAY TRAFFIC		
ANGLE α	DOUBLE LOADED BAY WIDTH	SINGLE LOADED BAY WIDTH	ANGLE α	DOUBLE LOADED BAY WIDTH	SINGLE LOADED BAY WIDTH
30	40'-0"	26'-0"	30	48'-2"	34'-0"
32.5	40'-11"	26'-6"	32.5	49'-1"	34'-5"
35	41'-10"	26'-10"	35	49'-10"	34'-9"
37.5	42'-7"	27'-3"	37.5	50'-6"	35'-2"
40	43'-2"	27'-7"	40	50'-11"	35'-6"
42.5	43'-7"	27'-10"	42.5	51'-6"	35'-10"
45	44'-4"	28'-2"	45	52'-1"	36'-3"
47.5	45'-5"	29'-0"	47.5	52'-7"	36'-6"
50	46'-5"	29'-10"	50	52'-11"	36'-10"
52.5	47'-3"	30'-6"	52.5	53'-4"	37'-2"
55	48'-10"	31'-3"	55	53'-7"	37'-4"
57.5	48'-7"	31'-11"	57.5	53'-10"	37'-8"
60	49'-4"	32'-8"	60	54'-1"	37'-11"
62.5	50'-0"	33'-4"	62.5	54'-3"	38'-2"
65	50'-9"	33'-11"	65	54'-6"	38'-5"
67.5	51'-3"	34'-7"	67.5	54'-8"	38'-9"
70	51'-10"	35'-3"	70	54'-9"	38'-11"
72.5	52'-4"	35'-10"	72.5	54'-10"	39'-2"
75	52'-10"	36'-6"	75	54'-11"	39'-4"
77.5	53'-4"	37'-3"	77.5	55'-1"	39'-7"
80	53'-11"	37'-10"	80	55'-2"	39'-10"
82.5	54'-4"	38'-4"	82.5	55'-3"	39'-11"
85	54'-8"	39'-0"	85	55'-3"	40'-1"
87.5	55'-0"	39'-8"	87.5	55'-3"	40'-2"
90	55'-4"	40'-4"	90	55'-4"	40'-4"

TABLE 5B: PARKING BAY DIMENSIONS FOR COMPACT CARS - NON-REQUIRED STALLS

NON-REQUIRED STALLS					
ONE WAY TRAFFIC			TWO WAY TRAFFIC		
ANGLE α	DOUBLE LOADED BAY WIDTH	SINGLE LOADED BAY WIDTH	ANGLE α	DOUBLE LOADED BAY WIDTH	SINGLE LOADED BAY WIDTH
30	40'-0"	26'-0"	30	48'-2"	34'-0"
32.5	40'-11"	26'-6"	32.5	49'-1"	34'-5"
35	41'-10"	26'-10"	35	49'-10"	34'-9"
37.5	42'-7"	27'-3"	37.5	50'-6"	35'-2"
40	43'-2"	27'-7"	40	51'-0"	35'-6"
42.5	43'-7"	27'-10"	42.5	51'-6"	35'-10"
45	44'-2"	28'-1"	45	52'-1"	36'-2"
47.5	44'-7"	28'-3"	47.5	52'-7"	36'-5"
50	45'-6"	29'-0"	50	52'-11"	36'-8"
52.5	46'-3"	29'-10"	52.5	53'-2"	37'-0"
55	47'-0"	30'-5"	55	53'-5"	37'-3"
57.5	47'-8"	31'-1"	57.5	53'-7"	37'-6"
60	48'-5"	31'-9"	60	53'-9"	37'-8"
62.5	49'-1"	32'-4"	62.5	53'-10"	37'-11"
65	49'-9"	32'-11"	65	54'-0"	38'-1"
67.5	50'-3"	33'-7"	67.5	54'-0"	38'-4"
70	50'-10"	34'-2"	70	54'-0"	38'-6"
72.5	51'-4"	34'-10"	72.5	54'-0"	38'-8"
75	51'-10"	35'-5"	75	54'-0"	38'-9"
77.5	52'-4"	36'-1"	77.5	54'-0"	38'-11"
80	52'-9"	36'-8"	80	54'-0"	39'-0"
82.5	53'-2"	37'-2"	82.5	54'-0"	39'-0"
85	53'-6"	37'-9"	85	54'-0"	39'-0"
87.5	53'-9"	38'-5"	87.5	54'-0"	39'-2"
90	54'-0"	39'-0"	90	54'-0"	39'-2"

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities. For efficient handling of information internally and in the internet, conversion to this new format of code related and administrative information bulletins including MGD and RGA that were previously issued will allow flexibility and timely distribution of information to the public.

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities. For efficient handling of information internally and in the internet, conversion to this new format of code related and administrative information bulletins including MGD and RGA that were previously issued will allow flexibility and timely distribution of information to the public.

# **Attachment 8**

## **Public Hearing Notice**

## NOTICE OF PUBLIC HEARING

### Development Plan 14-11 and Zone Exception 15-1

On February 27, 2015, notice has been given that the Planning Commission of the City of Industry shall hold a public hearing on the application for Development Plan 14-11 and Zone Exception 15-1 at 111 Baldwin Park Boulevard in the City of Industry. Development Plan 14-11 is to modify an existing building to increase the mezzanine area, enlarge the loading area, and modernize the façade and landscaping. These changes will result in an increase in mezzanine area by 12,912 square feet and the building footprint by 3,943 square feet. Zone Exception 15-1 is to address existing deviations from development standards related to the maximum square footage allowance, required parking spaces, number of compact parking spaces, tandem parking spaces, drive-aisle width, and shortfalls in required landscape area. The proposed expansion of interior mezzanine space and building expansion do not create but exacerbate existing non-conforming situations.


A copy of all relevant material, including the Conditional Use Permit Application, is on file in the City Administrative Offices, 15625 East Stafford Street, Suite 100, City of Industry, California 91744.

The time, date and place of such hearing shall be as follows:

Time:	8:00 a.m.
Date:	March 12, 2015
Place:	City Council Chamber 15651 East Stafford Street City of Industry, CA 91744

Any person wishing to be heard regarding this matter may appear at the above time, date and place.

If you challenge the conditional use permit in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Planning Commission of the City of Industry at, or prior to, the public hearing.

  
Cecelia Dunlap  
Deputy Clerk of the City of Industry

# **Attachment 9**

**Resolution No. PC 2015-02**

**RESOLUTION NO. PC 2015-02**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF INDUSTRY, CALIFORNIA, RECOMMENDING THE ADOPTION OF DEVELOPMENT PLAN 14-11 TO ALLOW THE ADDITION OF 3,943 SQUARE FEET TO AN EXISTING 112,676 SQUARE FOOT BUILDING, AS WELL AS THE CONSTRUCTION OF A 12,912 SQUARE FOOT ADDITION TO THE BUILDING'S MEZZANINE AREA; AND RECOMMENDING APPROVAL OF ZONE EXCEPTION 15-1 TO ALLOW DEVELOPMENT WITH A GREATER MAXIMUM LOT COVERAGE, REDUCED MINIMUM LANDSCAPING AND MODIFIED PARKING REQUIREMENTS ON PROPERTY LOCATED AT 111 BALDWIN PARK BOULEVARD, WITHIN A "M" – INDUSTRIAL ZONE, AND MAKING FINDINGS IN SUPPORT THEREOF.**

**WHEREAS**, Xebec Building Company, Inc., a California corporation, on behalf of Harvard Card Systems, has filed an application for a Development Permit to allow the construction of a 3,943 square foot addition to a 112,676 square foot building, the addition of 12,912 square feet to the mezzanine of the building, and the modernization of the façade and landscaping of the site, together with a Zone Exception for relief from maximum lot coverage standards, minimum landscaping requirements and minimum parking requirements (collectively, the "Application"), located at 111 Baldwin Park Boulevard, City of Industry, within a "M"-Industrial Zone (the "Site"); and,

**WHEREAS**, the use proposed in the Application is allowed in the "M"-Industrial Zone subject to the approval of a Development Plan and, for this proposal, a Zone Exception; and,

**WHEREAS**, the Site is more particularly shown on the map attached hereto as Exhibit "A" and incorporated herein by this reference; and,

**WHEREAS**, the activity proposed by the Application is exempt from compliance with the California Environmental Quality Act ("CEQA") pursuant to CEQA Guidelines Section 15301 as a class 1 categorical exemption applicable to the operation, permitting, or minor alteration of existing facilities involving negligible or no expansion of the existing use; and,

**WHEREAS**, the purpose of Industry Municipal Code Chapter 17.36 (Design Review) is to protect the health, safety and welfare of the community by promoting consistent design standards for new development. However, the Application is uniquely constrained because the existing building already fails to meet code requirements in several areas and without a complete tear down the building would never be brought into conformance with all development



standards or modernized, such that the Application will require a Zone Exception for: (1) lot coverage greater than the allowed 50% per Section 17.36.060 W; (2) landscaping less than the 12 percent of the site as required by Section 17.36.060 Q; and less than minimum parking required by Section 17.36.060 K to permit the modernization of the site consistent with the spirit of Chapter 17.36; and,

**WHEREAS**, Section 17.40.030 of the Industry Municipal Code provides that an exception may be granted where practical difficulties or unnecessary hardships interfere with carrying out the strict letter of the Municipal Code, and the spirit of the Code will be observed, public safety secured, and substantial justice done; and,

**WHEREAS**, Section 17.40.020 of the Industry Municipal Code also allows an exception to the requirements of the Municipal Code applicable to the property where (1) the exception is necessary for the preservation of a substantial property right, and (2) the exception will not be materially detrimental to the public welfare nor to the property of other persons located in the vicinity thereof; and,

**WHEREAS**, on March 12, 2015, the Planning Commission of the City of Industry conducted a duly noticed public hearing in connection with the Application and considered all evidence, oral and written; and,

**WHEREAS**, all legal prerequisites have occurred prior to the adoption of this Resolution.

**NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF INDUSTRY DOES RESOLVE, DETERMINE, FIND, AND ORDER AS FOLLOWS:**

**SECTION 1.** The Planning Commission hereby finds that the above recitations are true and correct and, accordingly, are incorporated as a material part of this Resolution.

**SECTION 2.** Pursuant to the requirements of the Industry Municipal Code, Sections 17.40.020 and 17.36.030, in conjunction with Zone Exception No. 15-1, the Planning Commission hereby finds, based upon the substantial evidence contained in the record, including the written and oral staff reports presented to the Planning Commission with respect to the Application, as well as all other written and oral testimony submitted at the March 12, 2015 public hearing, as follows:

A. The Application is necessary for the preservation of a substantial property right and will not be materially detrimental to the public welfare nor to the property of other persons located in the vicinity because the design and use of the Site following the construction of the improvements anticipated in the Application will not compromise the design standards in the vicinity but will

enhance the site so as to preserve the purpose of the design standards set forth in Section 17.36.060 of the Industry Municipal Code since the building will be upgraded to more closely adhere to the standards of Chapter 17.36; and,

B. There are practical difficulties and unnecessary hardships associated with the development of the Site, and the spirit of the Code will be observed, public safety secured and substantial justice done since the existing building already fails to meet code requirements in several areas and without a complete tear down the building would never be brought into conformance with all development standards or modernized.

**SECTION 3.** Pursuant to the requirements of the Industry Municipal Code, Section 17.36.070, in conjunction with Development Plan No. 14-11, the Planning Commission hereby finds, based upon the substantial evidence contained in the record, including the written and oral staff reports presented to the Planning Commission with respect to the Application, as well as all other written and oral testimony submitted at the March 12, 2015 public hearing, as follows:

A. The Site is suitable for development in accordance with the Development Plan;

B. The total development is arranged so as to avoid traffic congestion, ensure the public health, safety and general welfare or prevent adverse effects upon neighboring properties;

C. The development is in general accord with all elements of the Industry Zoning Ordinance; and,

D. The development is consistent with the provisions of the Industry General Plan.

**SECTION 4.** Based upon the environmental information form supplied by Xebec Building Company, Inc., as part of the Application, the Planning Commission exercises its independent judgment and finds that the proposed project is exempt from compliance with CEQA pursuant to CEQA Guidelines Section 15301 as a class 1 categorical exemption.

**SECTION 5.** The Planning Commission does hereby recommend that the City Council approve the Application subject to the conditions and standard code requirements set forth in Exhibit "B" attached hereto and incorporated herein by this reference and in accordance with the plans submitted in conjunction with the Application.

**SECTION 6.** The Secretary of the Planning Commission shall certify to the adoption of this Resolution.

**ADOPTED, SIGNED AND APPROVED** by the Planning Commission of the City of Industry at a regular meeting held on March 12, 2015.

---

Manuel Perez  
Chairman

**ATTEST:**

---

Cecelia Dunlap  
Secretary

**STATE OF CALIFORNIA            )**  
**COUNTY OF LOS ANGELES    ) ss.**  
**CITY OF INDUSTRY             )**       **PLANNING COMMISSION  
SECRETARY'S CERTIFICATION  
RE: ADOPTION OF PLANNING  
COMMISSION RESOLUTION**

I, Cecelia Dunlap, Secretary of the City of Industry Planning Commission, do HEREBY CERTIFY that the foregoing Resolution No. PC 2015-02 was duly passed and adopted at a regular meeting of the Planning Commission of the City of Industry held on the 12<sup>th</sup> day of March, 2015 by the following vote to wit:

AYES:                    COMMISSIONERS: \_\_\_\_\_

NOES:                    COMMISSIONERS: \_\_\_\_\_

ABSENT:                 COMMISSIONERS: \_\_\_\_\_

ABSTAINED:            COMMISSIONERS: \_\_\_\_\_

\_\_\_\_\_  
Cecelia Dunlap, Secretary  
Planning Commission  
City of Industry, California

(SEAL)

**EXHIBIT A**  
**DP 14-11**  
**Location Map**





# CITY OF INDUSTRY

P.O. Box 3366 • 15625 E. Stafford St. • City of Industry, CA 91744-0366 • (626) 333-2211 • FAX (626) 961-6795

## EXHIBIT B

### Standard Requirements and Conditions of Approval

**Application:** Development Plan 14-11 and Zone Exception 15-1

**Applicant:** Harvard Card Systems

**Location:** 111 Baldwin Park Boulevard

### Conditions of Approval

*Conditions of approval are unique provisions, beyond the requirements of law, the municipal code, or standard practices that are applied to a project by the City Council per Section 17.36.080 of the Zoning Code. Please note that if the design of your project or site conditions change, the conditions of approval may also change. If you have any questions regarding these requirements, please contact the City of Industry.*

1. The property owner shall dedicate the corner street right-of-way at the intersection of Baldwin Park Boulevard and Railroad Avenue to the City.

### Code Requirements and Standards

*The following is a list of code requirements and standards deemed applicable to the proposed project. The list is intended to assist the applicant by identifying requirements that must be satisfied during the various stages of project permitting, implementation, and operation. It should be noted that this list is in addition to any "conditions of approval" adopted by the City Council and noted above. Please note that if the design of your project or site conditions change, the list may also change. If you have any questions regarding these requirements, please contact the City of Industry.*

1. The approval expires twelve (12) months after the date of approval by the City Council if a building permit for each building and structure thereby approved has not been obtained within such period.
2. The applicant shall provide drainage and grading plans to be approved by the City Engineer prior to the issuance of a building permit. Such plans shall be in substantial conformity with the development plans.
3. The applicant shall provide landscaping and automatic irrigation plans to be approved by the Planning Director prior to the issuance of a building permit. Such plans shall be in substantial conformity with the approved development plans. Such plans shall include: provision for an automatic irrigation/sprinkler system; specimen trees, shrubs, ground cover and/or grass; and specifications for the above to the satisfaction of the Planning Director. Additionally, such plans shall be designed and specimen trees, shrubs, ground cover and/or grass shall be designed so as to integrate compatibly with street parkway landscaping.

4. The applicant shall construct adequate fire protection facilities to the satisfaction of the Los Angeles County Fire Department.
5. All exterior surfaces of buildings and appurtenant structures shall be painted in accordance with the approved development plan.
6. Depending upon the nature of the proposed use, the applicant shall obtain an Industrial Waste Permit or receive Domestic Wastewater Clearance from the City Engineer depending on the building use.
7. The applicant shall provide off-street parking as shown on the approved development plan.
8. The applicant shall provide building plans to be approved prior to the issuance of a building permit. Such plans shall be in substantial conformity with the approved development plans. (Building plans shall be submitted to and approved by the Los Angeles County Engineer's Office - Building and Safety Division prior to the issuance of a building permit.)
9. Demolition and construction operations shall be limited to the hours prescribed by the Los Angeles County Noise Ordinance (Los Angeles County Municipal Code, Section 12.08.390).
10. Should archeological resources be uncovered during site preparation, grading, or excavation, work shall be stopped for a period not to exceed 14 days. The find shall be immediately evaluated for significance by a county-certified archaeologist. If the archaeological resources are found to be significant, the archaeologist shall perform data recovery, professional identification, radiocarbon dates as applicable, and other special studies; submit resources to the California State University Fullerton; and provide a comprehensive final report including appropriate records for the California Department of Parks and Recreation (Building, Structure, and Object Record; Archaeological Site Record; or District Record, as applicable).

### **Interpretation and Enforcement**

1. The Planning Department, Engineering Department, and contract agencies (Los Angeles County Fire Department, Los Angeles Department of Building and Safety) shall be responsible for ensuring compliance with all applicable code requirements and conditions of approval.
2. The Planning Director may interpret the implementation of each condition of approval and, with advanced notice, grant minor amendments to approved plans and/or conditions of approval based on changed circumstances, new information, and/or relevant factors as long as the spirit and intent of the approved condition of approval is satisfied. Permits shall not be issued until the proposed minor amendment has been reviewed and approved for conformance with the intent of the approved condition of approval. If the proposed changes are substantial in nature, an amendment to the original entitlement may be required pursuant to the provisions of Industry Municipal Code.